

Chapter 11.60

Form Based Development Code



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TABLE 11.60.010A

The following information summarizes how to use this code given the anticipated range of applications that will be submitted and processed per this code.

B: BUILDING TO BE MODIFIED

A: USE OF NEW BUSINESS IN EXISTING BUILDING

Required Action

1. Find your site in Figure 11.60.020(A) - Citywide Regulating Plan - to determine which zone applies.
2. See Table 11.60.030(A) - Land Use Types - to determine what uses are allowed on your site and what type(s) of permit(s) are required.
3. Follow the application requirements identified in Table 11.60.030(A) for processing by City staff.

4. If you are installing a new sign, see South Gate Municipal Code for requirements to include in your application.

Submit Application for Processing
 If in compliance with all applicable requirements and a CUP is not required, the application will be processed by Planning Staff for the Director of Community Development's approval.

Required Action

1. Find your site in Figure 11.60.020(A) - Citywide Regulating Plan - to determine which zone applies.
2. See Table 11.60.030(A) - Land Use Types - to determine what uses are allowed on your site and what type(s) of permit(s) are required.
3. See Table 11.60.040(A) - Development Standards - to determine the standards that apply to your existing building.
4. Apply the development standards to your addition or other modification of an existing building and follow the application requirements identified in Table 11.60.030(A) for processing by City staff.

Submit Application for Processing
 If in compliance with all applicable requirements and a CUP is not required, the application will be processed by Planning Staff for the Director of Community Development's approval.

HOW TO USE THIS CODE

D: SITE EXCEEDS 5 ACRES IN SIZE

C: NEW BUILDING

Required Action

- 1. Find your site in Figure 11.60.020(A) - Citywide Regulating Plan - to determine which zone applies.
- 2. See Table 11.60.030(A) - Land Use Types - to determine what uses are allowed on your site given the type of development you are proposing and what type(s) of permit(s) are required.
- 3. Apply development standards from Table 11.60.040(A) to your site for the zone that applies.
- 4. See Table 11.60.050(A) - Building Types - for allowed building types in the zone applicable to your site. Select building type(s) and apply lot width, lot depth and requirements for number of floors as specified in Table 11.60.050(A).
- 5. See Table 11.60.060(A) - Frontage Types - for allowed frontage types in the zone applicable to your site. Select frontage type(s) and apply to your building per the requirements for the selected type.

6. See South Gate municipal code for allowed signage types in the zone applicable to your site.

Submit Application for Processing
If in compliance with all applicable requirements and a CUP is not required, the application will be processed by Planning Staff for the Director of Community Development's approval.

Required Action

- 1. Find your site in Figure 11.60.020(A) - Citywide Regulating Plan - to determine which zone applies.
- 2. See Section 11.60.080 -Block and Street Standards - for min and max dimensions of new blocks to be created out of the existing site.
- 3. See Table 11.60.080(C) - Street Standards - to determine which street types are allowed in the zone.
- 4. Apply allowable street type(s) to site to create new blocks.
- 5. Continue to Steps C2 through C6 for 'New Building'

Submit Application for Processing
If in compliance with all applicable requirements, the application will be processed by Planning Staff for Planning Commission and City Council approval.

.010 Authority, Organization of FBC

11.60.010(1) - AUTHORITY AND PURPOSE

This chapter of the City of South Gate Zoning Ordinance is adopted per the provisions of South Gate Zoning Code Chapter 11.59 (Establishment of Form-Based Code) and shall be known, and may be cited, as the “FBC” or “Code”. The FBC is adopted to protect and promote the public health, safety, comfort, convenience, and general welfare of the community and implement the South Gate General Plan.

11.60.010(2) - APPLICABILITY OF DEVELOPMENT CODE STANDARDS

This Code applies to all land uses, development, modifications of existing development and, subdivisions on property within the boundaries of the zones identified in Figure 11.60.020(A) of this code, *Citywide Regulating Plan*, as follows:

A. Requirements for new structures or land uses, or changes to structures or land uses.

No permit shall be issued by the City unless the proposed project complies with all applicable provisions of this Code and all other applicable provisions of law.

- 1. Development and Design Standards, Conditions of Approval.** Each structure, addition(s) or modification(s) to a structure(s) and land use shall comply with all applicable standards of this Code and any applicable conditions imposed by a previously granted discretionary planning permit or approval.
- 2. Allowable Use.** Land uses are allowed by this Code as permitted, or conditionally permitted, in the zone applied to the site as identified in Table 11.60.030(A).
- 3. Permit and Approval Requirements.** Any permit / approval required by Table 11.60.030(A) shall be obtained before the issuance of any required permit, and before the proposed use, and any structures related to the proposed use, are constructed, otherwise established or put into operation.
- 4. Legal Lot.** The site of a proposed development or new land use shall be a lot(s) legally created in compliance with the Subdivision Map Act and the City’s Subdivision Regulations. Lots created after the adoption of this code are subject to the requirements Chapter 11.60.080 (Block and Street Standards).

B. Subdivisions.

Any site that exceed 5 acres in size, as it exists or after lot consolidation, is subject to the requirements of Chapter 11.60.080 (Block and Street Standards).

C. Minimum requirements.

The provisions of this Code are minimum requirements for the protection and promotion of the public health, safety, and general welfare. When this Code provides for discretion on the part of a City official or body, that discretion may be exercised to impose conditions on the approval of any project proposed in the area subject to this Code.

D. Interface with other regulatory requirements.

1. Municipal Code Provisions. This Code is a chapter of the South Gate Zoning Ordinance (Title 11) and the South Gate Municipal Code. As with other provisions of the Zoning Ordinance, all other provisions of the Municipal Code continue to apply except as specifically identified otherwise in this Code.

2. Zoning Ordinance Provisions.

If a conflict occurs between a requirement or other provision of this Code and a requirement or other provision of the Zoning Ordinance, the more restrictive shall apply unless approved by the Community Development Director, Planning Commission or City Council.

3. Development Agreements or Specific Plans.

If a conflict occurs between a requirement of this Code and an applicable standard adopted as part of a development agreement or Specific Plan, the requirement of the development agreement or Specific Plan shall apply.

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11.60.010(3) CODE ORGANIZATION

This FBC is comprised of the following Chapters:

a. Citywide Regulating Plan:

Chapter 11.60.020 establishes and defines the zones and their boundaries. Each zone identifies intended open space locations, any new/modified rights-of-way and, allocates the necessary block, land use, and development standards to each zone to implement the range of expected outcomes expressed in the South Gate General Plan;

b. Land Use Types and Standards:

Chapter 11.60.030 identifies the land use types allowed, conditionally allowed or not allowed in each zone identified on the Citywide Regulating Plan.

c. Urban Standards:

Chapter 11.60.040 identifies, for each zone, where buildings are allowed on a lot, the maximum building envelope for each lot and requirements for parking, encroachments into setbacks / rights-of-way and, requirements for frontage along public streetscapes.

d. Building Type Standards:

Chapter 11.60.050 identifies the allowed building types in each zone and the corresponding requirements;

e. Frontage Type Standards:

Chapter 11.60.060 identifies the allowed frontage types in each zone and the requirements for how a building is to address the lot's frontage line(s) and public streetscape(s);

f. Signage Type Standards: (reserved)

g. Block and Street Standards:

Chapter 11.60.080 identifies standards for new or modified blocks to generate and maintain a walkable network of pedestrian-scaled blocks;

h. General Requirements:

Chapter 11.60.090 identifies requirements such as lighting, screenwalls, trash enclosures, etc., that pertain to all development and land use activity subject to this code.

i. Required findings:

Chapter 11.60.100 identifies the findings for determining whether or not an application is in compliance with the applicable requirements of this code;

j. Definitions:

Chapter 11.60.110 defines the terms and phrases used in this code.

11.60.010(4) -ADMINISTRATION

a. Processing .

Applications shall be processed and approved administratively if the application is consistent with the applicable requirements. Applications that exceed the flexibility built into this code, as established in Table 11.60.010(B), are considered inconsistent with the code and therefore, require discretionary approval and/or an amendment to the code regulations.

The standards and other requirements of this Code shall be administered and enforced by the City of South Gate Community Development Department, Planning Commission, and City Council.

b. Effect on Existing Development and Land Uses.

Development and/or uses legally existing as of the adoption of this code may continue until such time that such development is replaced and/or the use(s) terminated by their owner except as further regulated in Chapter 11.60.030.

c. Historic Resources.

Any building or structure that is deemed eligible by the City, the State of California or, is officially listed on the Local, state or National register of Historic Places or is an official contributing resource within a designated historic district may, for historic preservation and adoptive re-use purposes, be permitted any land-use to be contained within the historic building/structure subject to the prior review and approval of a Conditional use Permit by the Planning Commission if it is determined that the land use will:

1. Be compatible and not adversely impact the surrounding land uses;
2. Be a good adaptive re-use of the building for economic development purposes;
3. Not adversely impact the historical features of the interior and exterior of the building nor adversely affect the historic setting of the building on the property based on the recommendations of the Historic resources Commission;
4. Comply with all applicable secretary of the Interior's standards for historic preservation; and
5. Will not result in the building/structure being potentially at risk for removal from any Local, state or National register of Historic Places or eliminating its eligibility to be listed in such in the opinion of the Historic resources Commission.

d. Requirements for "Park-Once" parking program.

As identified in Figure 11.60.020(A) - *Citywide Regulating Plan* - certain areas are allowed to use a shared parking approach to addressing the needs of non-residential parking. The intent is to allow for each property to generate building area, land use activity and open space as required, while grouping the parking facilities in strategically dispersed locations to encourage walking between businesses and destinations by relieving individual properties of providing potentially duplicative parking throughout the identified area.

These standards are yet to be established and only need to be established once for each identified

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area in Figure 11.60.020(A). Therefore, prior to this provision being used for any of the identified areas, the Park-Once requirements shall be established for each identified area as follows:

1. Calculation of the potential non-residential square feet in the particular area, as identified in Figure 11.60.020(A) and the corresponding amount of parking spaces required by the South Gate Municipal Code;
2. Analysis of the types of uses allowed in the area and the projected number of vehicular trips to the area;
3. Analysis of the projected number of vehicular trips to the area and what amount of those trips can be eliminated because of the proximity of adjacent land uses;
4. Based on the above analyses, the number of vehicle trips identified as eliminated because of the ability to visit other such uses without needing to move the vehicle a second time or what is referred to as 'trip capture' shall be identified. This amount shall be subtracted from the overall parking requirement identified in item 1 above;
5. The resulting 'parking supply' and its location(s) identified within the boundaries established in Figure 11.60.020(A), or as amended by the City of South Gate;
6. As development/land use applications are processed by the City, the required parking per the 'park-once' provisions shall be applied and the applicant shall either provide the parking facility or pay an in-lieu fee to address the applicant's fair share of the required parking in a facility. It shall be the City's responsibility to monitor the number of parking spaces available and the number committed to non-residential space in the area identified by the boundaries.

e. Civic Building Design Review.

Due to the community-wide need for civic buildings to reflect the civic and cultural characteristics of the community as distinct from commercial or residential characteristics of non-civic buildings, all civic buildings are exempt from the building type and frontage type standards (11.60.050 and 060). Civic buildings are subject to Site Plan Review by the Community Development Director, or designee, who will present a recommendation to the Planning Commission for its consideration and action.

e. Administrative Modification.

As identified in Table 11.60.010(B), particular standards of this Code may be adjusted subject to the applicant providing the necessary information for the Community Development Director to make an informed decision in granting or denying the request for modification. The Community Development Director may elect to refer the application to the Planning Commission.

TABLE 11.60.010(B)		ADMINISTRATIVE MODIFICATION [1]
STANDARD TO BE MODIFIED	MAXIMUM AMOUNT OF STANDARD	KEY TO NOTES
A. Lot Width / Depth	10%	<p>[1] Modification of Requirements.</p> <p><i>a. Administrative Modification.</i> Upon determination by the Community Development Director that the request, as authorized by Table 11.60.010(B), is consistent with the applicable requirements of this code, the identified standards may be modified administratively.</p> <p><i>b. Major Modification.</i> Requests that exceed the limits identified in Table 11.60.010(B), but that are deemed by the Community Development Director to be within the intent of this code, are to be processed with a recommendation for zoning interpretation and action.</p> <p><i>c. Limits of Modifications.</i> Upon determination by the Community Development Director that the request for an administrative modification deviates beyond the limit(s) authorized by Table 11.60.010(B) and the intent of this Code, such request shall be deemed ineligible for a modification and shall be processed as a Code Amendment (SGMC 11.40) or Variance (SGMC 11.38).</p>
B. Building Placement		
Front Setback	15%	
Side Street Setback	15%	
Interior Side Setback	10%	
Rear Setback	15%	
Alley Setback	10%	
C. Building Height	10% (only for stories 1-5)	
D. Volume / Massing	15% (total for building)	
E. Required Parking	5%	
F. Parking Placement		
Front Setback	5%	
Side Street Setback	5%	
Interior Side Setback	25%	
Rear Setback	25%	
G. Parking Access	5%	

.020 Citywide Regulating Plan and Zones

11.60.020(1) CITYWIDE REGULATING PLAN ESTABLISHED

This section - Citywide Regulating Plan, Figure 11.60.020(A), establishes the zones applied to properties within the City of South Gate. It divides the community into distinct zones that are based on a range of intensity within the City of South Gate from the most urban types of development and land use to the least urban type and provides a significant mixture of land uses within them.

Pedestrian-Scaled Network.

It is the intent of the each zone to support a network of interconnected streets and open spaces that accommodate vehicles while maintaining a balanced physical environment conducive to pedestrian activity, a 'walkable' network.

Streets and Streetscapes.

New or modified streets shall be designed per the requirements in Table 11.60.080(C).

Zones and Standards.

Each zone is described in this Chapter along with its corresponding standards.

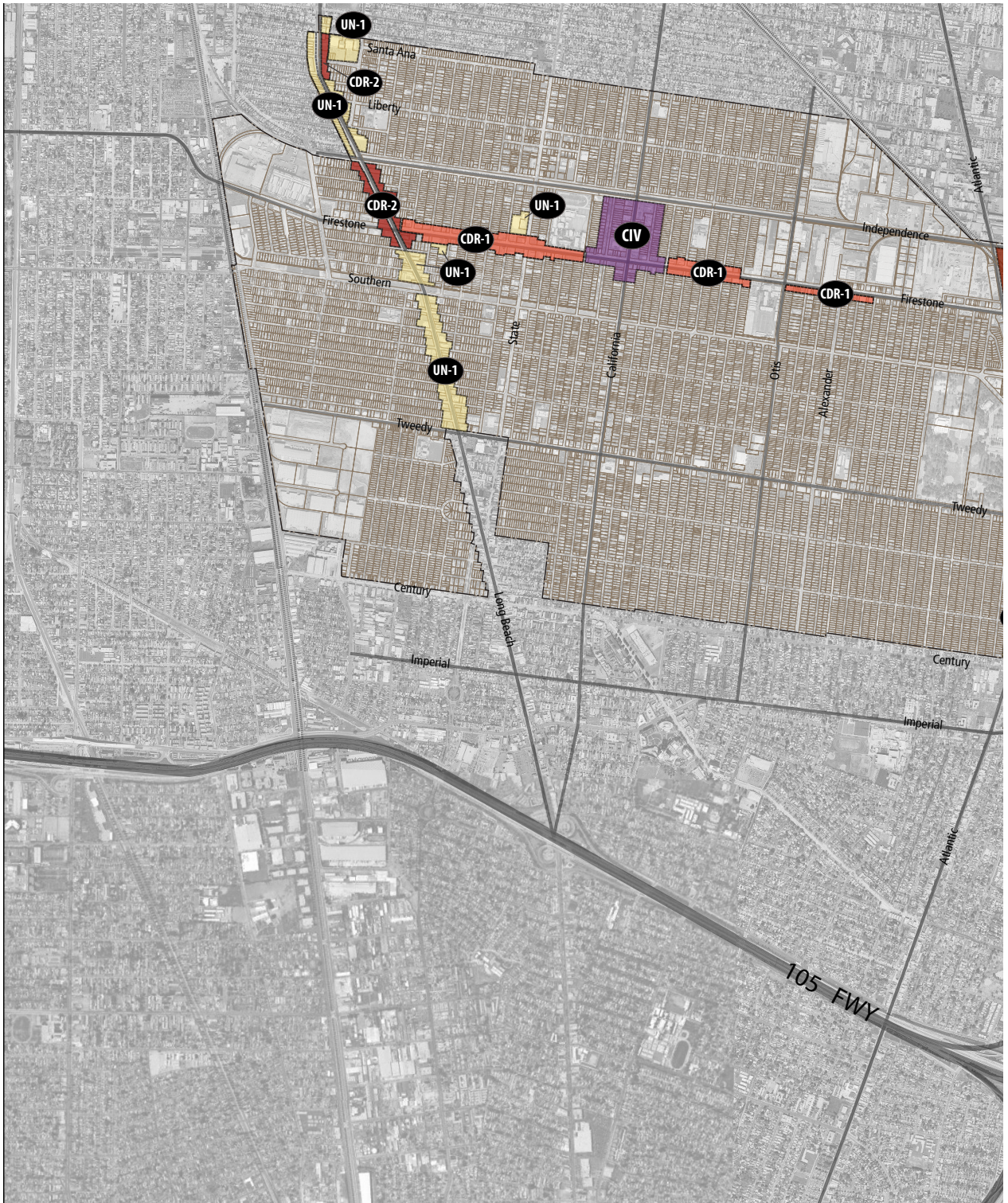
Zones

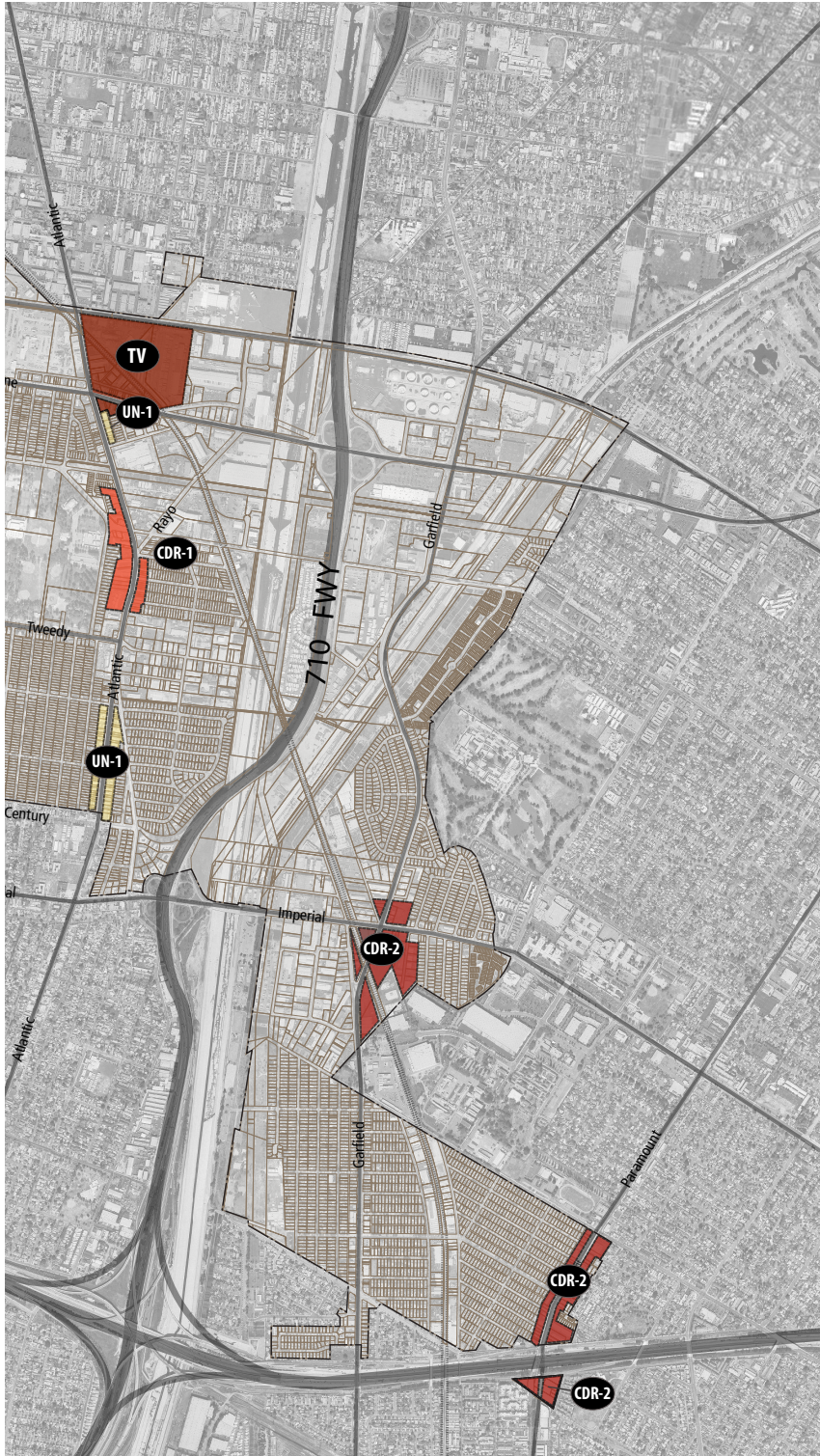
The following zones are established by this Code, and are applied to property within the boundary as shown in Figure 11.60.020(A), Citywide Regulating Plan.

Zone	General Plan 'Place -Type' implemented by Zone
A. Civic Center (CIV)	Boulevard Med High, Urban Village, Civic / Institutional
B. Transit Village (TV)	Urban Village
C. Corridor 1 (CDR 1)	Single-Use Retail, Neighborhood High, Blvd High
D. Corridor 2 (CDR 2)	Single-Use Retail, Neighborhood Med-High, Blvd Med High
E. Urban Neighborhood 1 (UN1)	Neighborhood Medium High

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FIGURE 11.60.020(A) CITYWIDE REGULATING PLAN





KEY TO FIG 11.60.020(A)

----- South Gate City Limit.

CIV **CIVIC CENTER (CIV) ZONE**
 see Figure 11.60.020(A)(1) for additional information

TV **TRANSIT VILLAGE (TV) ZONE**
 see Figure 11.60.020(A)(2) for additional information

CDR-1 **CORRIDOR 1 (CDR1) ZONE**
 see Figure 11.60.020(A)(3i-ii) for additional information

CDR-2 **CORRIDOR 2 (CDR2) ZONE**
 see Figure 11.60.020(A)(4i-ii) for additional information

UN-1 **URBAN NEIGHBORHOOD 1 (UN1) ZONE**
 see Figure 11.60.020(A)(5i-ii) for additional information

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FIGURE 11.60.020(A)(1) REGULATING PLAN FOR THE CIVIC CENTER (CIV) ZONE

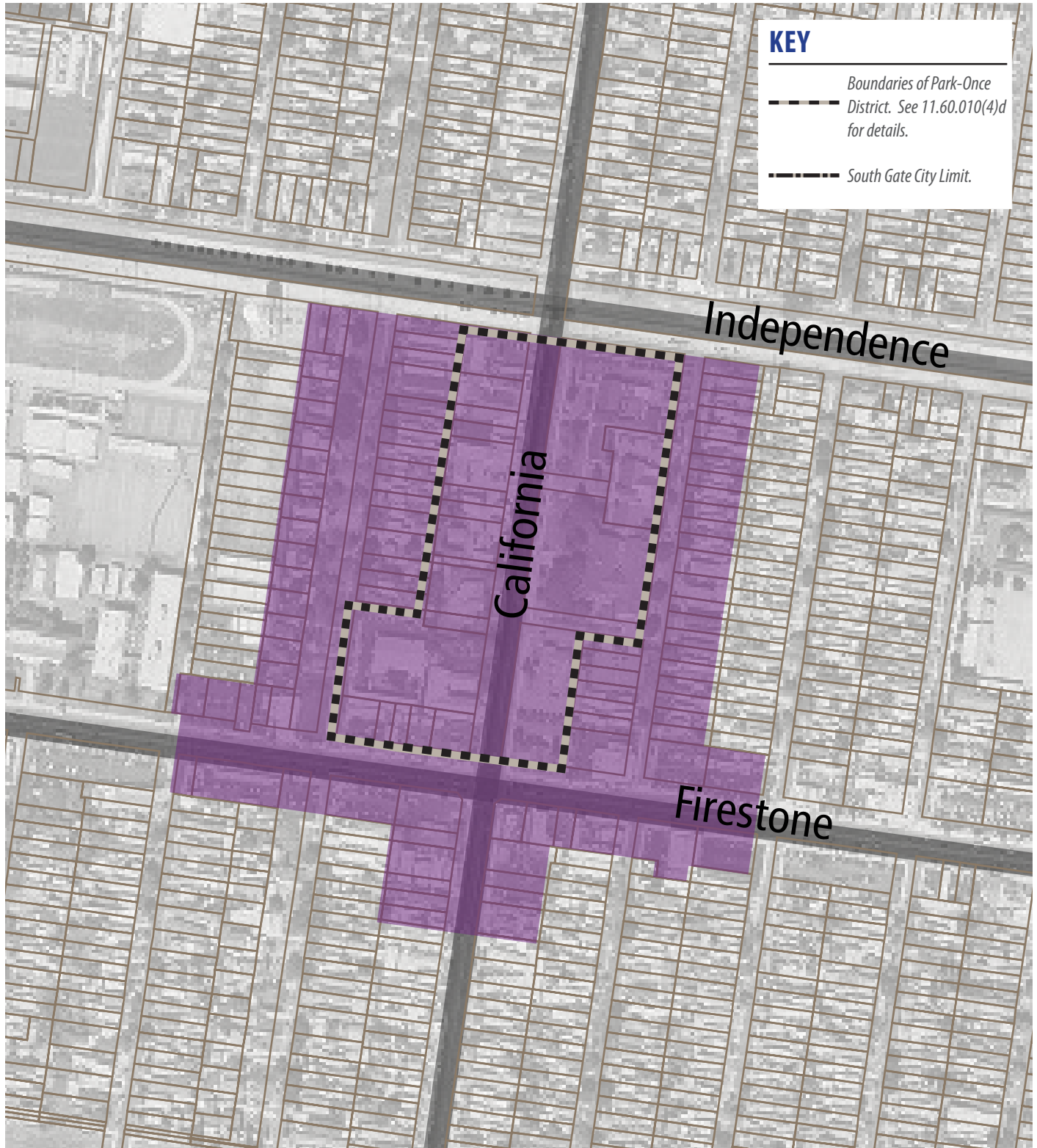
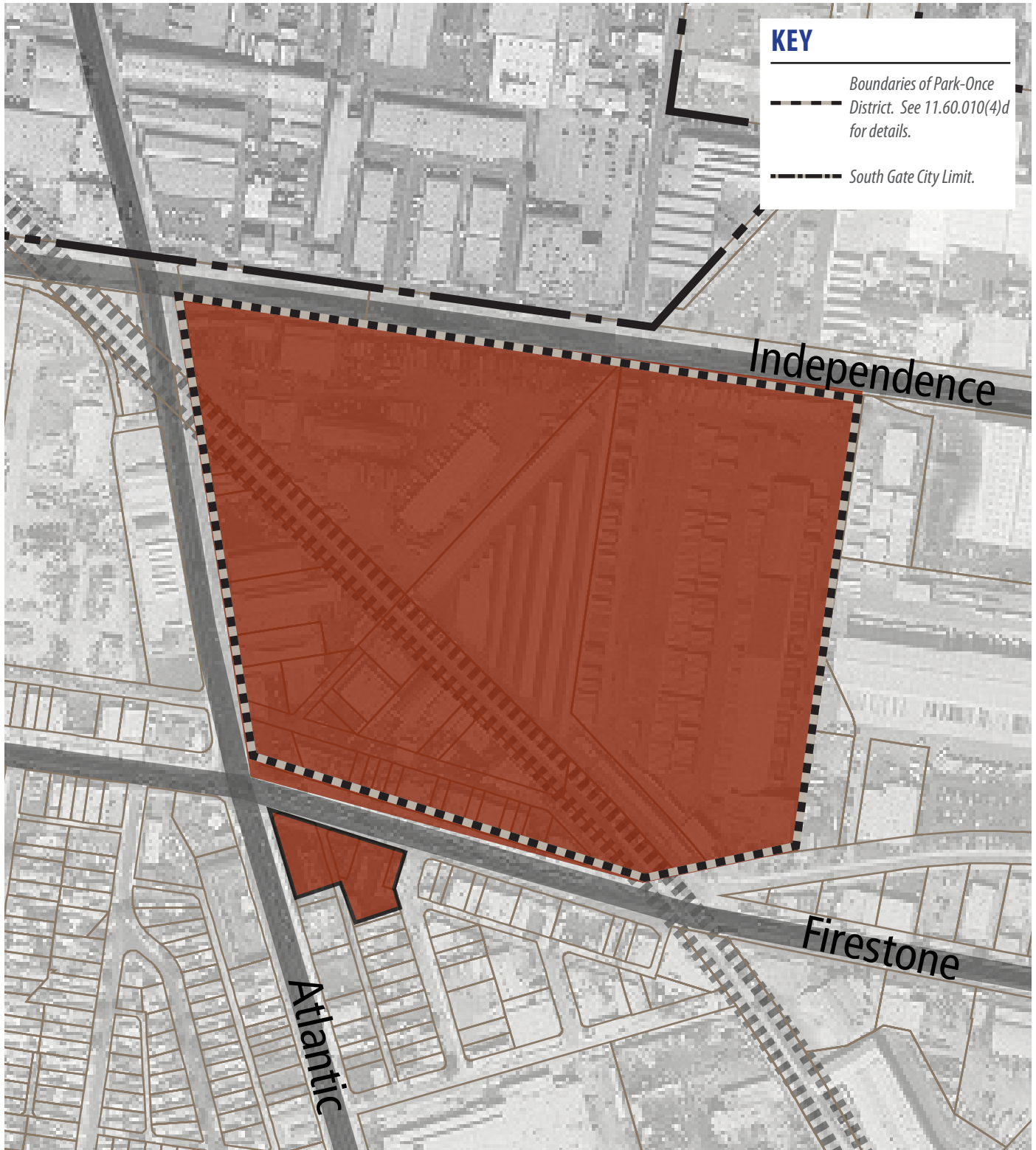


FIGURE 11.60.020(A)(2) REGULATING PLAN FOR THE TRANSIT VILLAGE (TV) ZONE



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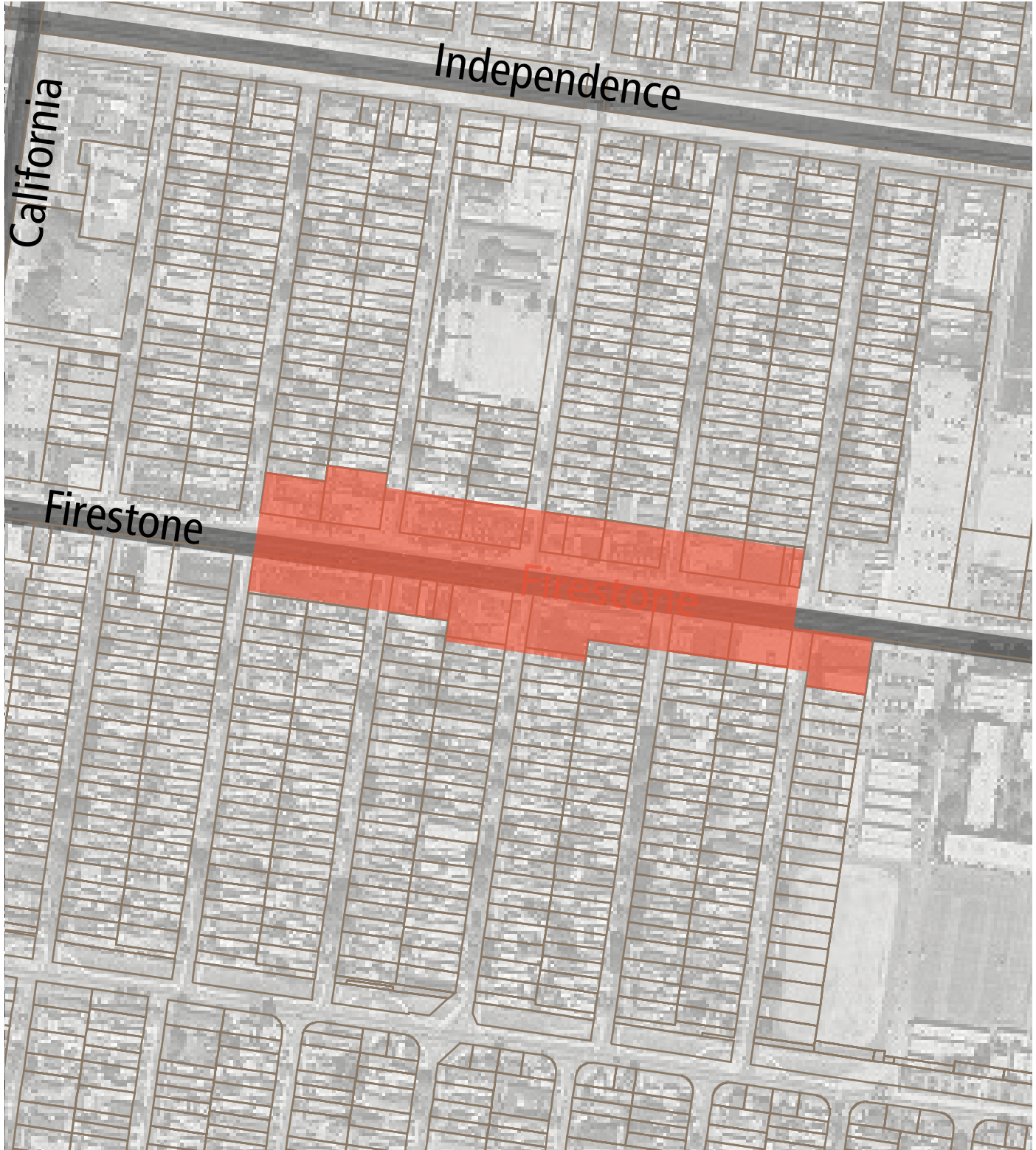
FIGURE 11.60.020(A)(3)(i) REGULATING PLAN FOR THE CORRIDOR 1 (CDR1) ZONE

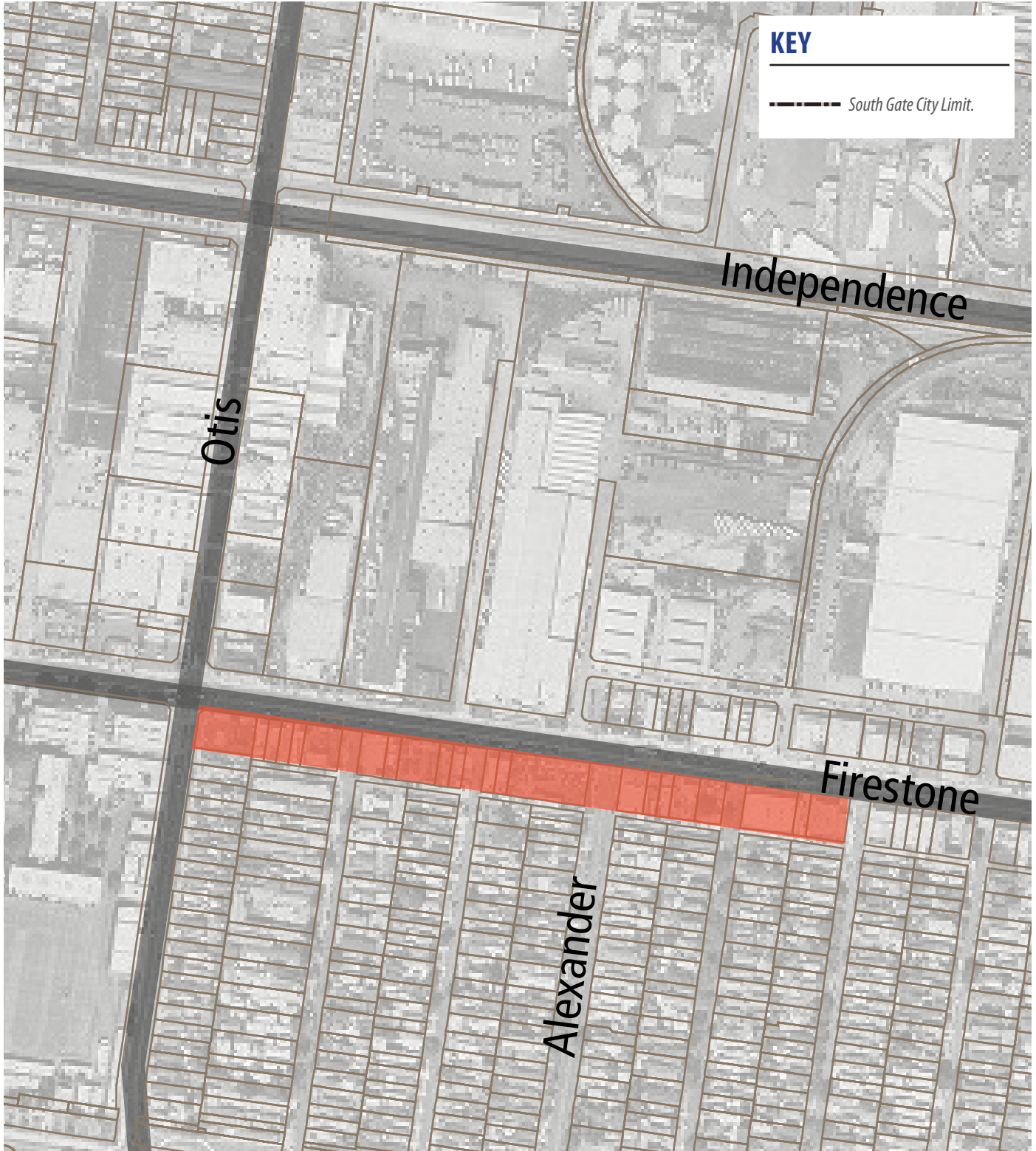




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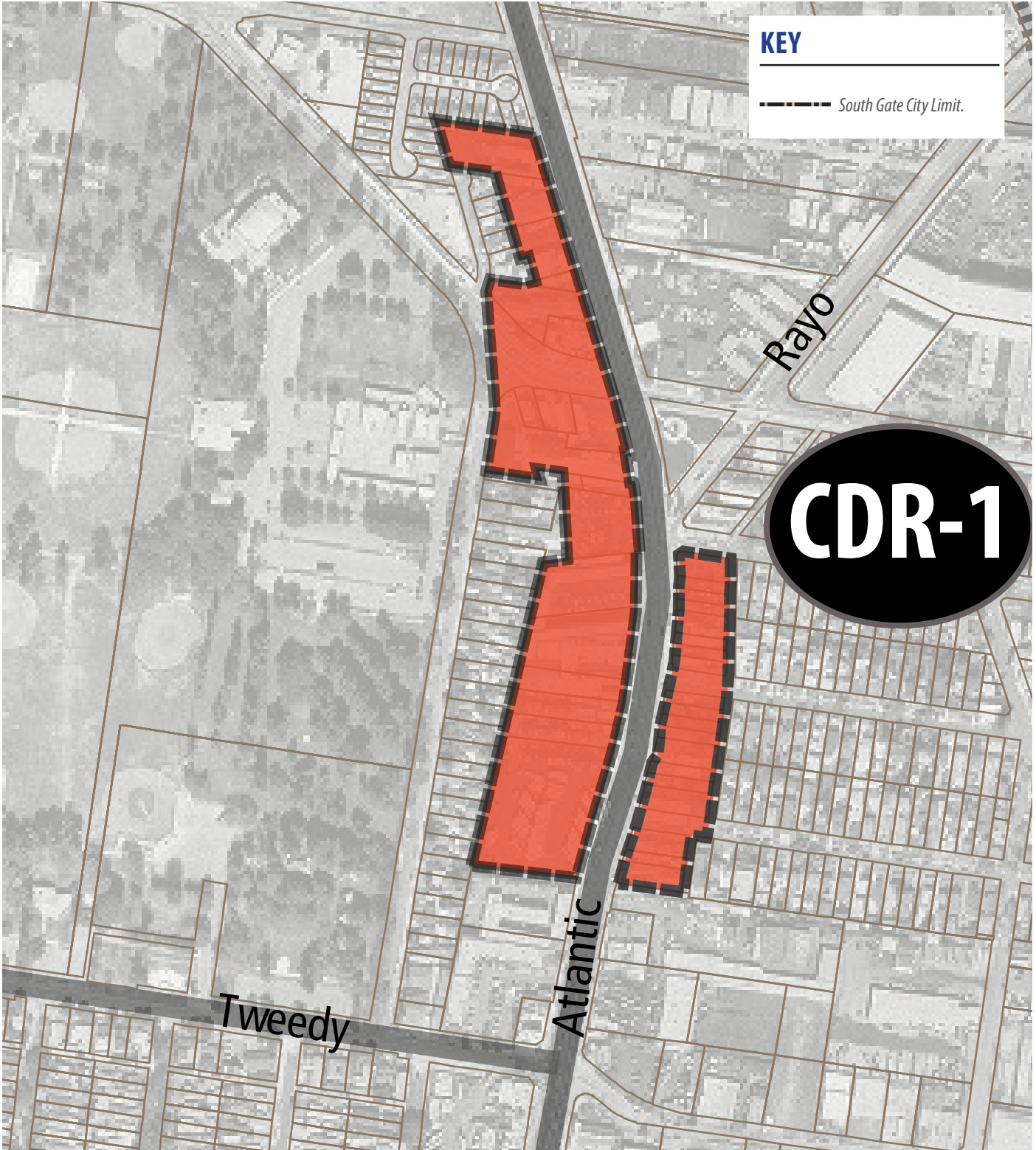
FIGURE 11.60.020(A)(3)(ii) REGULATING PLAN FOR THE CORRIDOR 1 (CDR1) ZONE (CONT'D)





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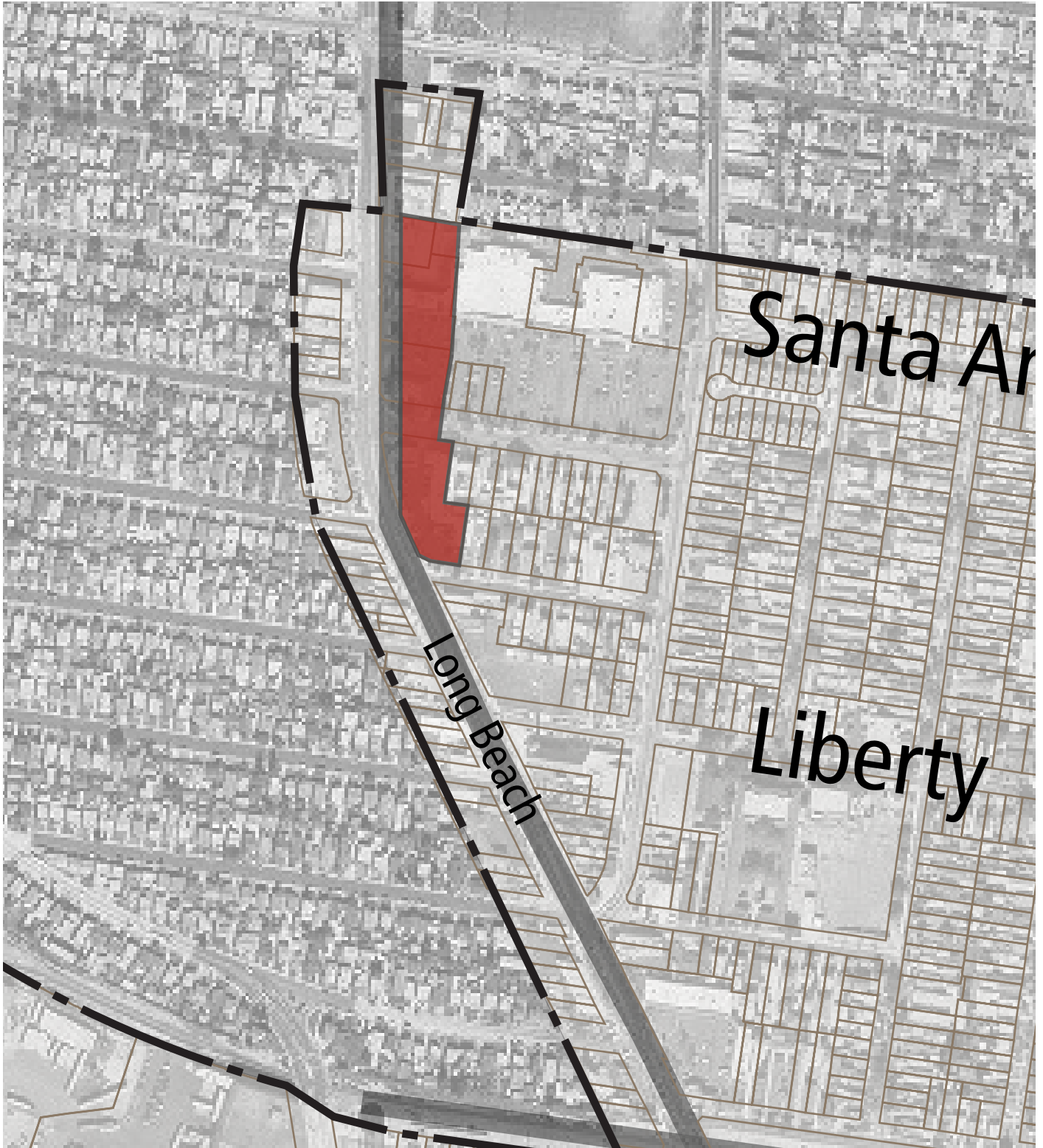
FIGURE 11.60.020(A)(3)(ii) REGULATING PLAN FOR THE CORRIDOR 1 (CDR1) ZONE (CONT'D)

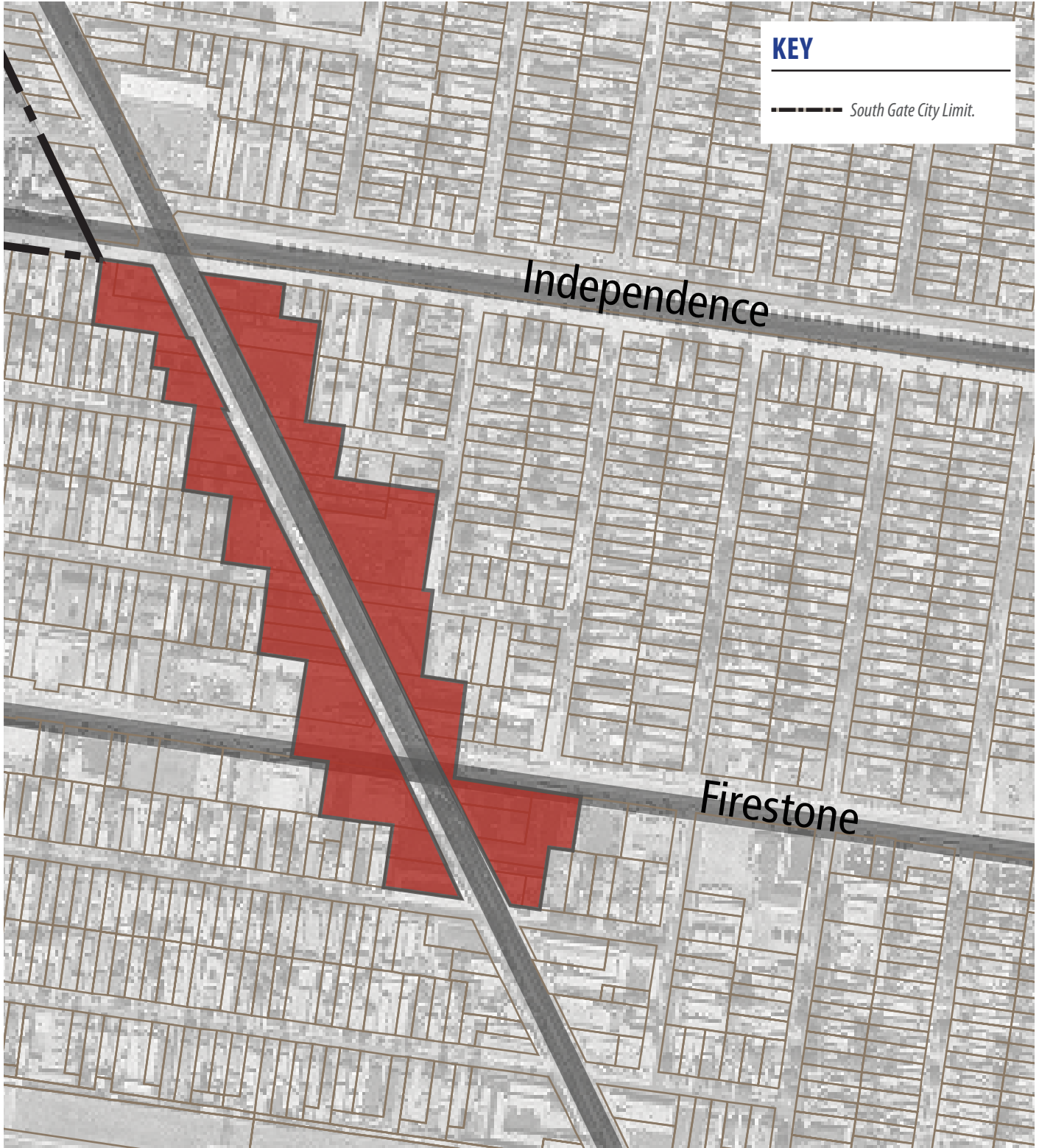


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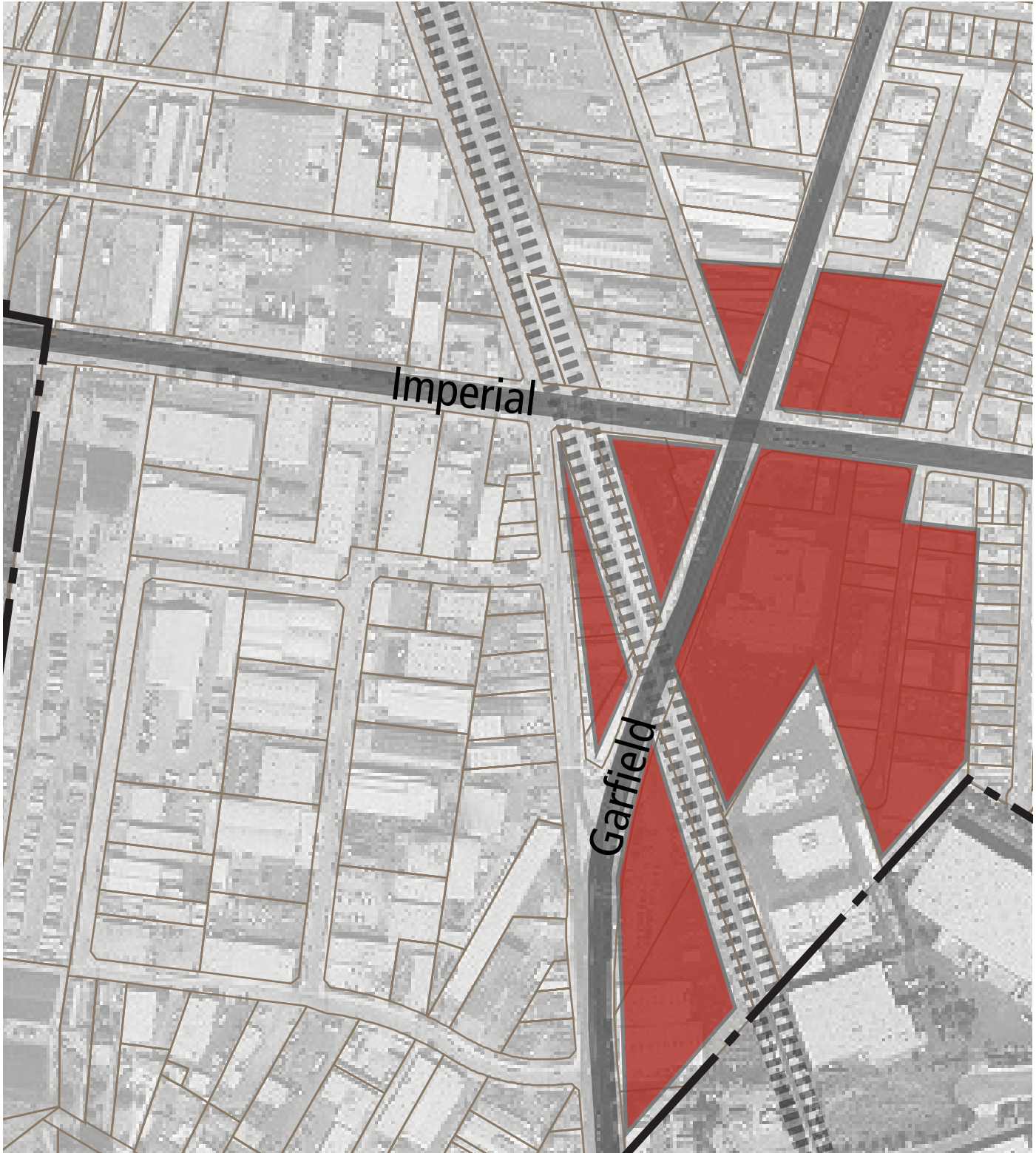
FIGURE 11.60.020(A)(4)(i) REGULATING PLAN FOR THE CORRIDOR 2 (CDR2) ZONE

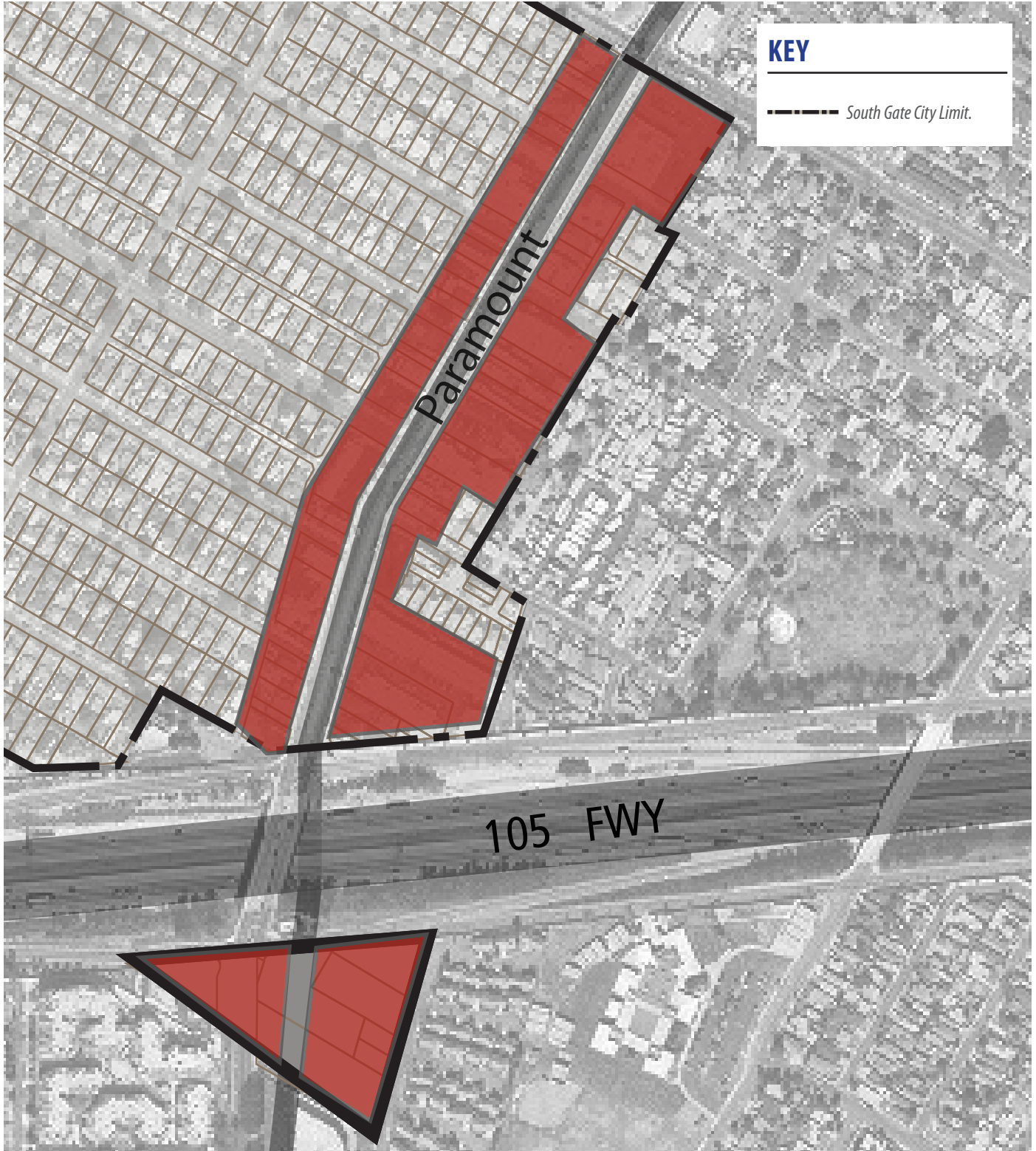




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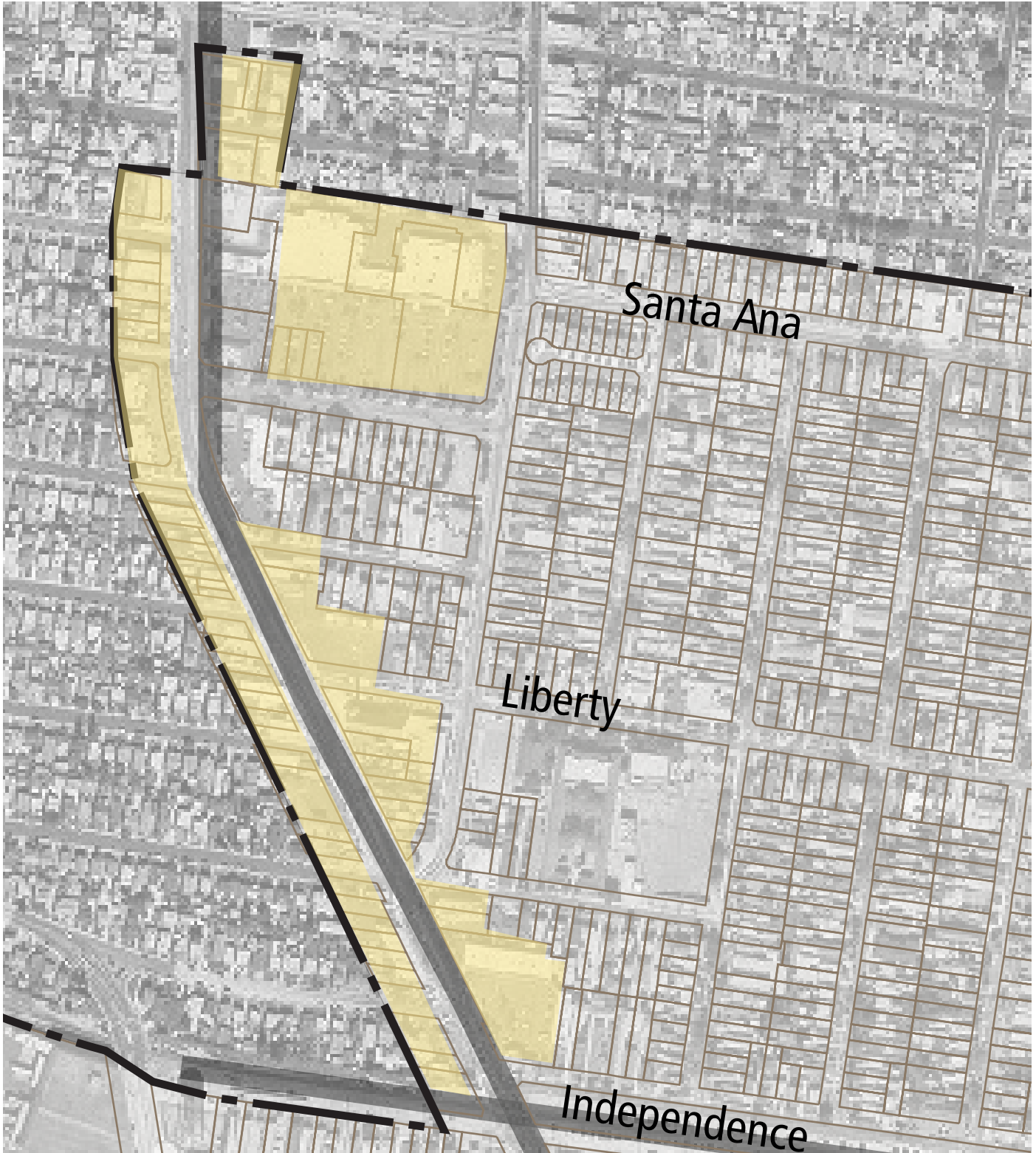
FIGURE 11.60.020(A)(4)(ii) REGULATING PLAN FOR THE CORRIDOR 2 (CDR2) ZONE (CONT'D)

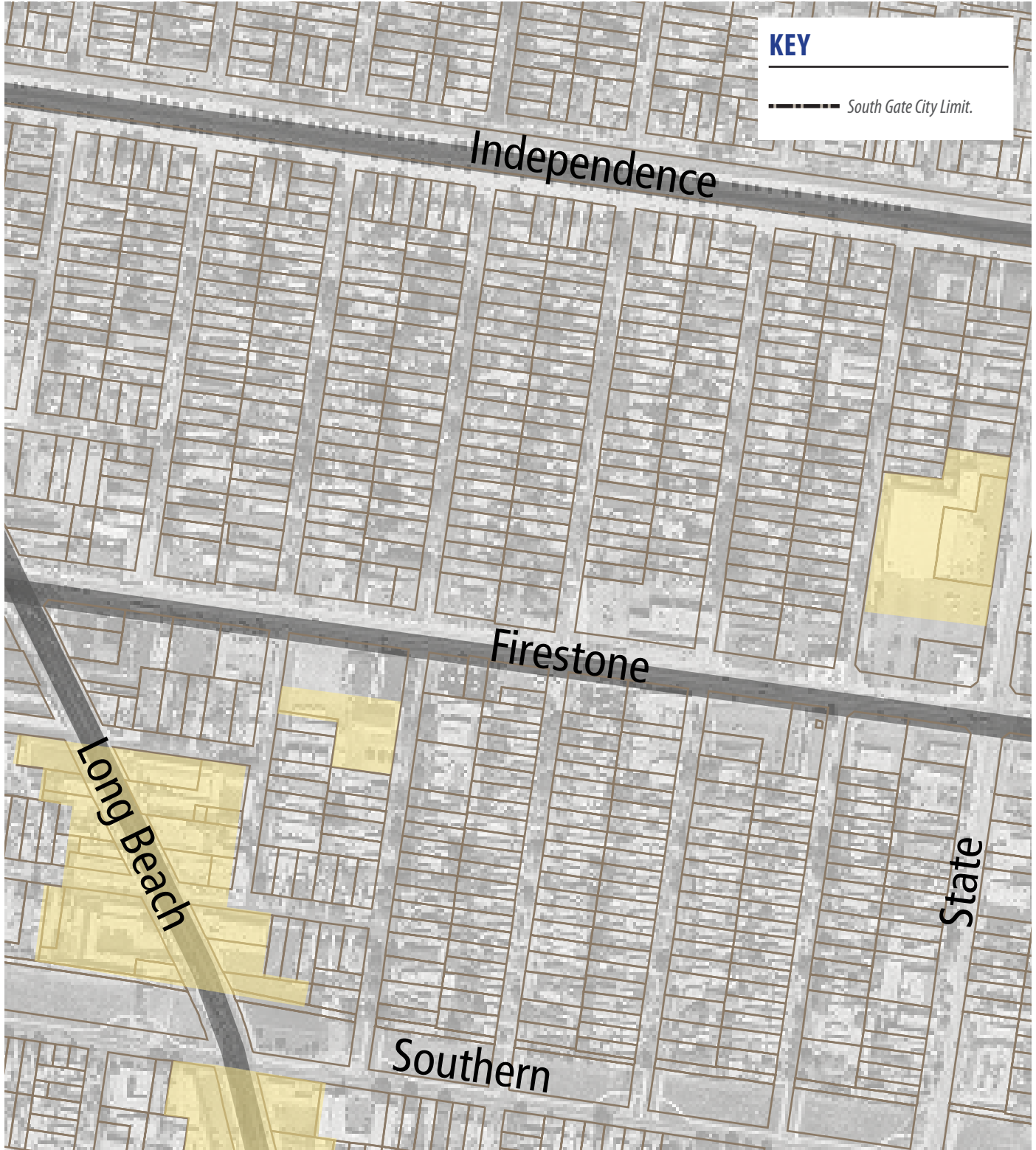




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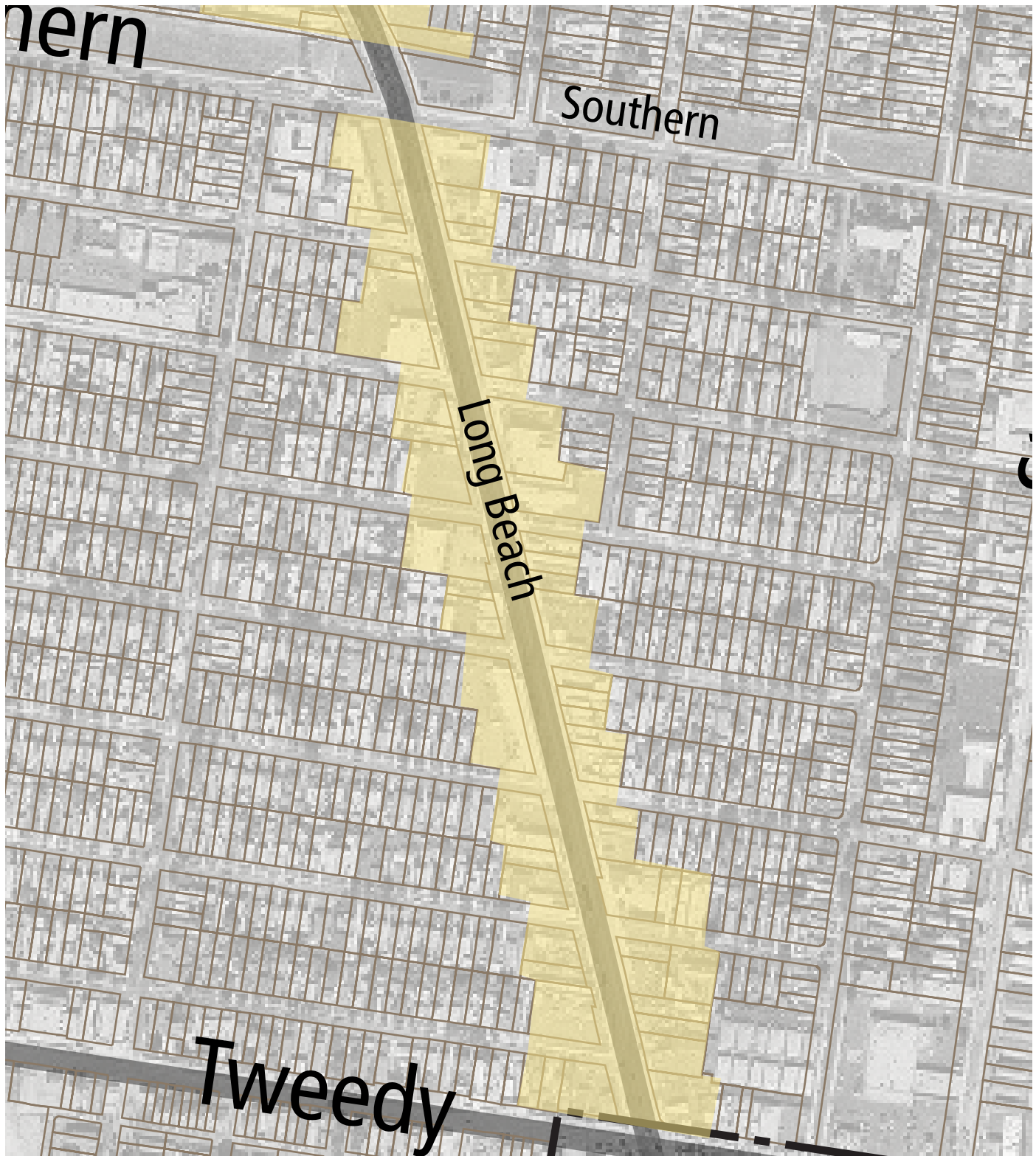
FIGURE 11.60.020(5)(i) REGULATING PLAN FOR THE URBAN NEIGHBORHOOD (UN1) ZONE

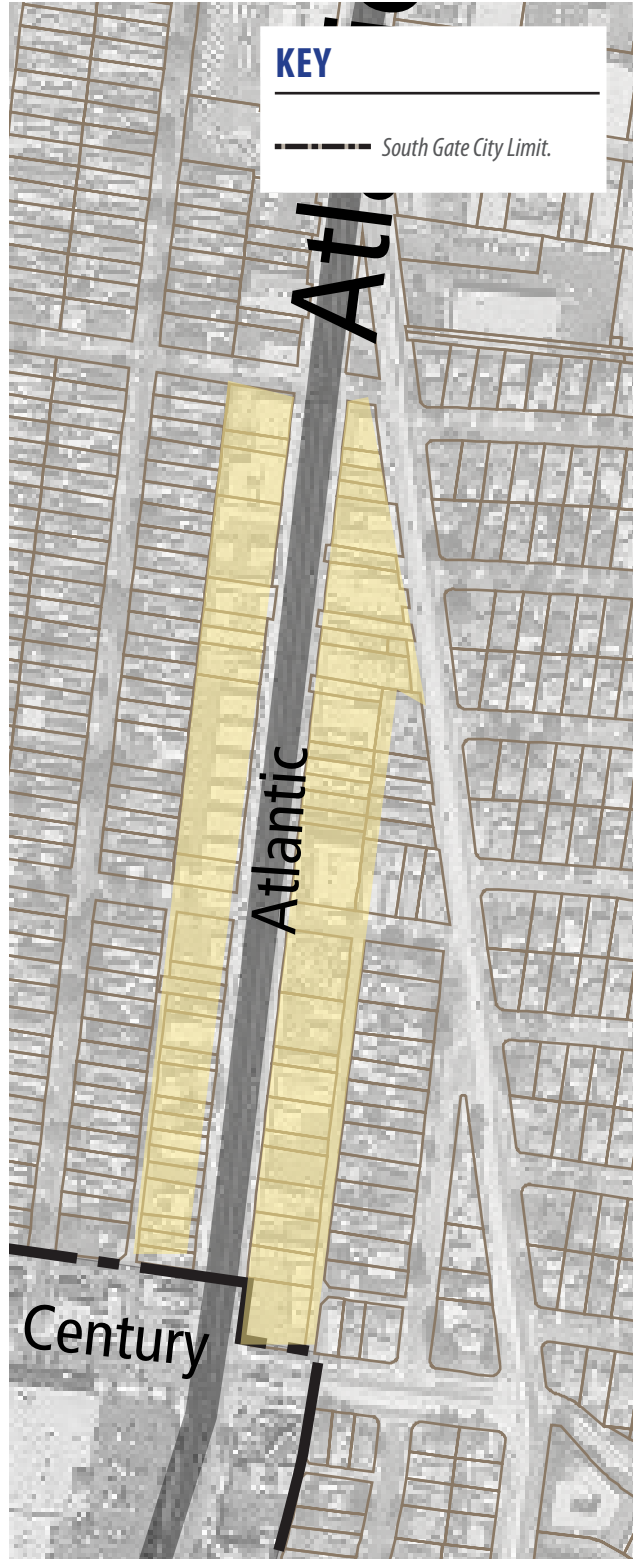




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FIGURE 11.60.020(5)(ii) REGULATING PLAN FOR THE URBAN NEIGHBORHOOD (UN1) ZONE





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TABLE 11.60.020(A)

ZONE	CIVIC CENTER ZONE	TRANSIT VILLAGE ZONE																																																																
<p>INTENDED PHYSICAL CHARACTER</p> <p>see 11.60.020(2-6) for purpose statements</p>																																																																		
<p>ALLOWED BUILDING TYPES AND MAXIMUM STORIES</p> <p>see Table 5A for additional requirements</p> <p>4; 5 w/ bonus = allowed in zone, max stories subject to massing standards in 11.60.050 --- = not allowed in zone</p>	<table border="1"> <tr><td>Flex Block</td><td>8; 10 w/bonus</td></tr> <tr><td>Lined Block (reserved)</td><td></td></tr> <tr><td>Hybrid Court</td><td>4; 5 w/bonus</td></tr> <tr><td>Court (reserved)</td><td></td></tr> <tr><td>Rowhouse (reserved)</td><td></td></tr> <tr><td>Tuck-Under (reserved)</td><td>---</td></tr> <tr><td>Bungalow Court (reserved)</td><td></td></tr> <tr><td>House/Duplex to Quadplex (reserved)</td><td>---</td></tr> <tr><td>Carriage House (reserved)</td><td>---</td></tr> </table>	Flex Block	8; 10 w/bonus	Lined Block (reserved)		Hybrid Court	4; 5 w/bonus	Court (reserved)		Rowhouse (reserved)		Tuck-Under (reserved)	---	Bungalow Court (reserved)		House/Duplex to Quadplex (reserved)	---	Carriage House (reserved)	---	<table border="1"> <tr><td>Flex Block</td><td>8; 10 w/bonus</td></tr> <tr><td>Lined Block (reserved)</td><td></td></tr> <tr><td>Hybrid Court</td><td>4; 5 w/bonus</td></tr> <tr><td>Court (reserved)</td><td></td></tr> <tr><td>Rowhouse (reserved)</td><td></td></tr> <tr><td>Tuck-Under (reserved)</td><td></td></tr> <tr><td>Bungalow Court (reserved)</td><td>---</td></tr> <tr><td>House/Duplex to Quadplex (reserved)</td><td>---</td></tr> <tr><td>Carriage House (reserved)</td><td>---</td></tr> </table>	Flex Block	8; 10 w/bonus	Lined Block (reserved)		Hybrid Court	4; 5 w/bonus	Court (reserved)		Rowhouse (reserved)		Tuck-Under (reserved)		Bungalow Court (reserved)	---	House/Duplex to Quadplex (reserved)	---	Carriage House (reserved)	---																												
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ZONE SUMMARIES

CORRIDOR 1 ZONE



Flex Block	6; 8 w/bonus
Lined Block (reserved)	
Hybrid Court	4; 5 w/bonus
Court (reserved)	
Rowhouse (reserved)	
Tuck-Under (reserved)	
Bungalow Court (reserved)	---
House/Duplex to Quadplex (reserved)	---
Carriage House (reserved)	---

Gallery	allowed
Shopfront	allowed
Forecourt	allowed
Stoop (reserved)	
Terrace (reserved)	
Porch	---
Front Yard	allowed

Front yard	0' for 50% of frontage [*]
Side Street	0' for 50% of frontage [*]
Interior Side yard	0' or 10'
Rear yard	10' min
Alley rear yard	3' min

[*] see Table 11.60.040(A)(3) for add'l reqmt's

Use-Type [a]	Required	Guest	Park Once
Efficiency / Studio	1.0[c] 1.5/unit	.15/unit	N.A.
Res'l 2 - 3 BR	2.0/unit	.20/unit	N.A.
Live-Work	2.0/unit	.15/unit	N.A.
Com'l Service	1/250	N.A.	N.A.
Retail	1/200	N.A.	N.A.
Food	1/100	N.A.	N.A.
Office	1/250	N.A.	N.A.
Industrial	1/300	N.A.	N.A.

CORRIDOR 2 ZONE



Flex Block	4; 5 w/bonus
Lined Block (reserved)	
Hybrid Court	3; 4 w/bonus
Court (reserved)	
Rowhouse (reserved)	
Tuck-Under (reserved)	
Bungalow Court (reserved)	
House/Duplex to Quadplex (reserved)	---
Carriage House (reserved)	---

Gallery	---
Shopfront	allowed
Forecourt	allowed
Stoop (reserved)	
Terrace (reserved)	
Porch	allowed
Front Yard	allowed

Front yard	0' for 65% of frontage [*]
Side Street	0' for 50% of frontage [*]
Interior Side yard	0' or 10'
Rear yard	20' min
Alley rear yard	3' min

[*] see Table 11.60.040(A)(4) for add'l reqmt's

Use-Type [a]	Required	Guest	Park Once
Efficiency / Studio	1.0[c] 1.5/unit	.15/unit	N.A.
Res'l 2 - 3 BR	2.0/unit	.20/unit	N.A.
Live-Work	2.0/unit	.15/unit	N.A.
Com'l Service	1/250	N.A.	N.A.
Retail	1/200	N.A.	N.A.
Food	1/100	N.A.	N.A.
Office	1/250	N.A.	N.A.
Industrial	1/300	N.A.	N.A.

URBAN NEIGHBORHOOD 1 ZONE



Flex Block	4; 5 w/bonus
Lined Block (reserved)	---
Hybrid Court	4; 5 w/bonus
Court (reserved)	
Rowhouse (reserved)	
Tuck-Under (reserved)	
Bungalow Court (reserved)	
House/Duplex to Quadplex (reserved)	---
Carriage House (reserved)	

Gallery	---
Shopfront	allowed
Forecourt	allowed
Stoop (reserved)	
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Porch	allowed
Front Yard	allowed

Front yard	10' min
Side Street	10' min
Interior Side yard	10' min
Rear yard	10' min
Alley rear yard	3' min

see Table 11.60.040(A)(5) for add'l requirements

Use-Type [a]	Required	Guest	Park Once
Efficiency / Studio	1.0[c] 1.5/unit	.15/unit	N.A.
Res'l 2 - 3 BR	2.0/unit	.20/unit	N.A.
Live-Work	2.0/unit	.15/unit	N.A.
Com'l Service	1/250 [1]	N.A.	N.A.
Retail	1/200 [1]	N.A.	N.A.
Food	1/100 [2]	N.A.	N.A.
Office	1/250 [3]	N.A.	N.A.

[1] max 2,500 sf; [2] max 1,000 sf; [3] max 2,000 sf

.020

11.60.020(2) CIVIC CENTER ZONE (CIV)

Intent and Purpose

The CIV zone is applied to areas intended as major points of community focus with civic and institutional uses as the primary attraction supported by community-oriented retail and service uses and housing.

Physical Character

The physical environment is of ground floor office and commercial uses with buildings either at the sidewalk or set back behind community open space. New housing is in upper floors or in portions of buildings not adjacent to the streetscape.

Buildings are varied in size while forming a streetwall of 3 to 4 stories with upper volumes up to 8 stories and bonus allowances for up to 10 stories.

Streetscape / Public Realm

Streetscapes are urban and comfortable with wide sidewalks in support of pedestrian activity. Street trees are of the types that provide shade while allowing views of the ground floor businesses. Planting is focused in individual or groups of containers/pots recognizing the high pedestrian nature of the streetscape.

Parking

Parking is provided through a combination of on-street customer spaces, park-once / public parking, and off-street residential spaces behind buildings. Parking along California Street accommodates parallel and/or diagonal configurations. Parking along Firestone Boulevard is off-peak and parallel in configuration.

EXAMPLES: RANGE OF INTENDED PHYSICAL CHARACTER



Above: Civic buildings provide community identity through their design and variety of public functions.



Above: Civic buildings offer opportunities for public space of varying sizes, combining landscape and hardscape.



Above: Mixed-use buildings provide for civic functions to occur while the rest of the building is used for residential and commercial uses.

Above:

The above examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typically associated with the intent of the CIV Zone.

11.60.020(3) TRANSIT VILLAGE ZONE (TV)

EXAMPLES: RANGE OF INTENDED PHYSICAL CHARACTER



Above: Mixed-use streets provide concentrated neighborhood services for residents and visitors, expanding the role of transit for the area.



Above: Housing choices range to townhouses as part of a hybrid court to provide density for transit efficiency and a change in scale.



Above: Residential as well as mixed-use buildings provide a variety of housing choices oriented around transit as a major amenity.

Intent and Purpose

The TV zone is applied to areas within approximately one-half mile of an existing or planned transit station to generate mixed-use districts that are focused on transit. This zone provides for transit-proximate housing in a physical environment that includes service, retail, office and civic uses.

Physical Character

The physical environment is of ground floor commercial / service uses with buildings either at the sidewalk or set back behind front yards depending upon how near they are to the transit station. Nearer, the station, housing is in upper floors or in portions of buildings not adjacent to the streetscape. Farther from the station, housing may be on the ground floor.

Buildings are mixed-or single-use, forming a streetwall of 2 to 4 stories with upper volumes up to 8 stories and bonus allowances for up to 10 stories.

Streetscape / Public Realm

Streetscapes are urban and comfortable, with wide sidewalks in support of pedestrian activity with canopy trees for shade. Planting near the station is focused in individual or groups of containers/pots recognizing the high pedestrian nature of the streetscape. Planting farther from the station is more landscape-oriented with tree-planting strips between the curb and sidewalk as well as front yard landscaping.

Parking

Within 1000 feet of a station, non-residential parking is provided through a combination of on-street customer spaces (parallel and/or diagonal) and park-once / public parking. Residential parking is behind or within buildings, on the site of the dwellings being served.

Beyond 1000 feet of a station, non-residential parking is provided by on-street customer spaces (parallel and/or diagonal). Residential parking is behind or within buildings, on the site of the dwellings being served.

Left:

The above examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typically associated with the intent of the TV Zone.

.020

11.60.020(4) CORRIDOR 1 ZONE (CDR 1)

Intent and Purpose

The CDR 1 zone is applied to major corridors such as Firestone Boulevard to provide for housing as well as a variety of corridor-related and neighborhood serving uses. Recognizing the regional function of these corridors, fuel stations are allowed provided that they are at corners and contribute to shaping the urban streetscape.

Physical Character

The physical environment is of ground floor office and commercial uses with office or housing above. Ground floor residential is allowed in certain locations away from busy street corners.

Buildings are varied in size, mixed-use or single-use and are at or near the sidewalk, occupying at least half of the primary frontage while providing convenient off-street parking for corridor-related uses such as retail and fueling stations.

Buildings form a primary streetwall of up to 4 stories with upper volumes up to 6 stories and bonus allowances up to 8 stories. Compatibility with adjacent neighborhoods is accomplished by orienting upper volumes away from neighborhoods and toward the corridor and particularly toward important street intersections.

Streetscape / Public Realm

Streetscapes are urban and comfortable with wide sidewalks to support pedestrian activity and outdoor dining and to provide a physical transition between the high volumes of regional traffic and the adjacent buildings. Street trees are a combination of columnar species to spatially define these regional connecting thoroughfares and canopy tree species to provide shade for pedestrians and ground floor activity.

Parking

Non-residential parking is through a combination of on-street and off-street customer spaces, and off-street residential spaces behind or along the side of buildings. On-street parking along Firestone Boulevard is off-peak and parallel in configuration.

EXAMPLES: RANGE OF INTENDED PHYSICAL CHARACTER



Above: A varying streetscape with all buildings shaping the streetscape.



Above: Mixed-use buildings providing a variety of housing choices above ground floor commercial.



Above: Major retail with convenient, surface parking framed by buildings that shape the streetscape while providing access to parking.

*Right:
The above examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typically associated with the intent of the CDR 1 Zone.*

11.60.020(5) CORRIDOR 2 ZONE (CDR 2)

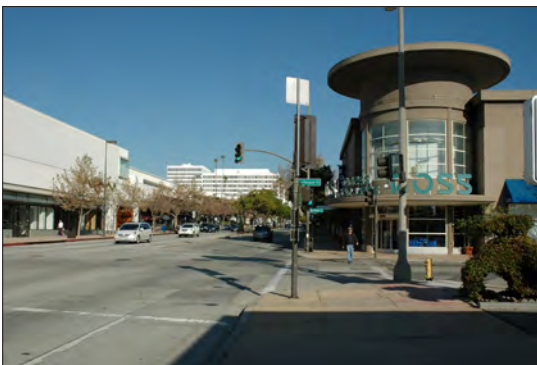
EXAMPLES: RANGE OF INTENDED PHYSICAL CHARACTER



Above: Residential buildings consisting of a variety of housing choices line corridors along with retail and mixed-use buildings.



Above: Commercial buildings shape the streetscape while enjoying high visibility and convenient surface parking in the rear of the lot.



Above: Major retail with convenient, on-street parking as well as parking behind.

Intent and Purpose

The CDR 2 zone is applied to secondary corridors such as Imperial, Paramount and Long Beach Boulevards to provide for a variety of housing choices and corridor-related neighborhood-serving uses. Recognizing the regional function of these corridors, fuel stations are allowed provided that they are at corners and contribute to shaping the urban streetscape.

Physical Character

The physical environment is of ground floor office and commercial uses with office or housing above. Ground floor residential is allowed in certain locations away from busy street corners.

Buildings are varied in size, but generally less in scale than those in the Corridor 1 Zone. Buildings are mixed-use or single-use and generate a pedestrian-oriented streetscape for neighborhood-serving retail and service as well as civic and office uses. Buildings are at or near the sidewalk and occupy at least 2/3 of the primary frontage while providing convenient off-street parking for corridor-related uses.

Buildings form a streetwall of up to 2 stories with upper volumes up to 4 stories and bonus allowances up to 5 stories. Upper volumes are oriented away from neighborhoods and toward the corridor and particularly toward important street intersections.

Streetscape / Public Realm

Streetscapes are urban and comfortable with wide sidewalks to support pedestrian activity and outdoor dining and to provide a physical transition between the traffic and the adjacent buildings. Street trees are primarily canopy tree species to provide shade for pedestrians and ground floor activity.

Parking

Non-residential parking is through a combination of on-street and off-street customer spaces, and off-street residential spaces behind or along the side of buildings. On-street parking is off-peak along Imperial, Long Beach and Paramount Boulevards and parallel in configuration.

Left:

The above examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typically associated with the intent of the CDR 2 Zone.

.020

11.60.020(6) URBAN NEIGHBORHOOD 1 ZONE (UN 1)

Intent and Purpose

The UN 1 zone is applied to areas adjacent to or surrounding major community activity nodes, including the centers of existing or planned transit stations to provide for housing, service, retail, office and civic uses as a transition between the more intense node and nearby or adjacent established neighborhoods.

Physical Character

The physical environment is one of ground floor housing and housing above with occasional neighborhood-serving retail, office and restaurants.

Buildings near the sidewalk or setback behind landscaped front yards. Buildings are varied in size, mixed-or single-use, forming a streetwall of up to 3 stories with upper volumes up to 5 stories through bonus allowances.

Streetscape / Public Realm

Streetscapes are urban and comfortable with either tree-planters and sidewalks or wide sidewalks with trees in tree wells, to support pedestrian activity and occasional outdoor dining and to establish a distinct residential character. Street trees are canopy tree species to provide shade for pedestrians and ground floor activity.

Parking

Residential parking is through a combination of on-street customer spaces and off-street residential spaces behind or within buildings on-site of the dwellings being served. Non-residential parking is provided through a combination of on-street (directly along the property's frontage) and off-street spaces.

EXAMPLES: RANGE OF INTENDED PHYSICAL CHARACTER



Above: A variety of point-access buildings with direct sidewalk access, making the streetscape an amenity associated with the building.



Above: Mixed-use buildings provide an active ground floor, especially at corners where visibility is highest and access the easiest.



Above: Housing comes in a variety of forms provided that it positively shapes the streetscape and gives identity to its occupants.

Right: The above examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typically associated with the intent of the UN 1 Zone.



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.030 Land Use Types

11.60.030 ALLOWED LAND USE TYPES.

A. Permit Requirements.

Table 11.60.030(A) identifies the permit requirements for each land use type as to if or how each land use type is allowed in each zone as follows:

1. **Permitted:** subject to compliance with all applicable provisions of this Code, and any applicable requirements of the South Gate Zoning Ordinance. These are identified as “P” land use types;
2. **Conditionally Permitted:** subject to the approval of a Conditional Use Permit, and identified as “CUP” land use types; and
3. **Not allowed:** identified as “---”
4. **(2) :** Additional requirements apply as indicated by reference to ‘notes’ at bottom of Table 11.60.030(A).

Upon determining that a building and lot are legally established, the lot/building shall be occupied by only the land use types allowed by Table 11.60.030(A).

B Establishment of an Allowed Land Use Type.

Any one or more allowed land use types identified in Table 11.60.030(A) may be established on any lot within that zone, subject to the required planning permit and in compliance with all applicable requirements of this Code.

C. Land Use Type not Listed.

A land use type not listed in Table 11.60.030(A) is not allowed in any of the zones subject to this Code.

D. Similar and compatible land use type may be allowed.

The Planning Commission may determine that a proposed use not listed in Table 11.60.030(A) is allowable through the process described in the chapter 11.30.040 of the South Gate Zoning Code.

E. Temporary Land Use Types.

Temporary land use types are allowed, as identified in Table 11.60.030(A) in compliance with the Temporary land use Permit requirements of the South Gate Zoning Code.

F. Existing Development and Land Use Activity.

This section identifies how and when the Code applies to development and land use activity that preceded the adoption of this Code.

Legal, Non-Conforming Building: Buildings and improvements legally established prior to the adoption of this Code that do not comply with one or more provisions of this Code may continue until such time that any of the following occur:

1. The building(s)/improvements is demolished voluntarily prior to any damage occurring as a result of earthquake, fire, etc;
2. The building(s) is to be expanded or modified by more than 10% in size;
3. The non-conforming part of the building/improvements is to be made more non-conforming.

Legal, Non-Conforming Land Use Type: Land use types legally established prior to the adoption of this Code that do not comply with one or more provisions of this Code may continue until such time that any of the following occur:

1. The non-conforming land use type either ceases operation for more than 120 days or does not possess a valid business license for more than 120 days;
2. The non-conforming land use type is to be expanded or modified;
3. The non-conforming land use type is to be relocated on or from the site.

.030

The following land use types are allowed in the various zones subject to compliance with all applicable requirements.

TABLE 11.60.030(A)

PERMIT REQUIRED BY ZONE

LAND USE TYPE (1)	CIV	TV	CDR 1	CDR 2	UN 1
RETAIL (see 11.496.102 for complete list)					
Large Format Retail (over 20,000 sq ft)	---	---	P(2)	P(2)	P
General retail (under 20,000 sq ft)	P	P	P(2)	P(2)	P
Alcoholic beverage sales (see SGMC 11.39)	---	CUP	CUP	CUP	---
Alcoholic beverage sales as part of an eating establishment	CUP(3)	CUP(3)	CUP(3)	CUP(3)	CUP(3)
Adult Business (See SGMC 11.04.027)	---	---	---	---	---
Bar, tavern and night club	---	CUP	CUP	---	---
Department Store, Drug / Pharmacy, Appliance Store	---	P	P(2)	P(2)	---
Eating establishments w/out drive-through	CUP	CUP	P	P	CUP
Eating establishments w/ drive-through	---	---	CUP(7)	CUP(7)	---
Outdoor vending	CUP(9)	CUP(9)	CUP(9)	CUP(9)	---

SERVICES: GENERAL (see 11.496.102 for complete list)					
Ambulance service; Patrol service	---	---	CUP(5)	CUP(5)	---
Banquet facility / catering	CUP(5,6)	---	CUP(5,6)	CUP(5,6)	---
Collection facility; Parcel delivery service	---	---	CUP(6)	CUP(6)	---
Day care, 8 to 14 children	CUP	CUP	CUP	CUP	CUP
Day care, 8 or more adults	CUP	CUP	CUP	CUP	CUP
Dry cleaning, Laundry	P	P	P	P	P
Fueling Station automotive (no semi-tractor trailer vehicles)	---	---	CUP(10)	CUP(10)	---
Printing and publishing (under 15,000 sq ft)	CUP	---	CUP	CUP	---
Repair: appliances, furniture, garments, footwear, plumbing; fix-it shop	---	---	P	P	---
Repair: automotive vehicles (not incl commercial vehicles)	---	---	CUP(5)	CUP(5)	---

Key to Table 3A

P Permitted Land Use Type

CUP Conditionally Permitted Land Use Type

(5) See 'Notes'

--- Land Use Type not permitted

Notes:

(1) All land use types are subject to the applicable building type and frontage type requirements of the zone.

(2) Allowed as a single-use in a building per the building placement, building type and frontage type requirements.

(3) Alcohol sales allowed if on-site with a 'sit-down' restaurant.

(4) Civic / Institutional uses within any of the allowed building types identified are subject to the special design review procedures set forth in chapter 11.60.010(4).e.

(5) Outdoor staging, storage or repair of vehicles not allowed within 60 feet of front lot line.

ALLOWED LAND USE TYPES BY ZONE

PERMIT REQUIRED BY ZONE

LAND USE TYPE (1)	CIV	TV	CDR 1	CDR 2	UN 1
SERVICES: PERSONAL (see 11.496.102 for complete list)					
Non-medical services to individuals:					
Salon: Tanning/Waxing, Weight control, Aromatherapy	P	P	P	P	---
Pet grooming (no boarding)	---	P	P	P	---
Fortune telling, palm/card reader, psychic	---	---	CUP	CUP	---
Clothing/garment rental	P	P	P	P	---
Medical services: clinic, urgent care	CUP	CUP	CUP	CUP	---
Medical services: doctor, dentist, etc.	CUP	CUP	CUP	CUP	---
Medical services: extended care	CUP(6)	---	CUP(6)	CUP(6)	---

SERVICES: PERSONAL, RESTRICTED					
Pawnshop	---	---	CUP	CUP	---
Tattoo and body piercing	---	---	CUP	CUP	---
Check-cashing	---	---	CUP	CUP	---

SERVICES: BUSINESS, ADMINISTRATIVE, PROCESSING					
Processing: airline, lodging/car rental reservation centers, insurance claim processing, mail order and electronic transaction processing, telemarketing	P(6)	---	P(6)	P(6)	---
Professional / Administrative: Bank, financial services, accounting, auditing/bookkeeping service, advertising, attorney, business association, construction contractor (office facility only), counseling, design office, political campaign headquarters, secretarial service	P	P	P	P	---
Service: Agency - employment, insurance, real estate, travel; Utility office;	P	P	P	P	---

(6) Use allowed only on upper floor(s) or behind ground floor street frontage use with minimum 30 feet depth from face of storefronts.

(7) Drive through lane and window shall not be adjacent to front or side street lot lines.

(8) Existing uses are allowed to continue until such time that any of the thresholds in chapter 11.60.010(4)b are caused to apply.

(9) In compliance with all applicable right-of-way requirements.

(10) See Table 11.60.040(A) and for building placement requirements.

TABLE 11.60.030(A)

LAND USE TYPE (1)	PERMIT REQUIRED BY ZONE				
	CIV	TV	CDR 1	CDR 2	UN 1
TRANSPORTATION, COMMUNICATIONS, INFRASTRUCTURE					
Communications equipment	CUP(6)	CUP(6)	CUP(6)	CUP(6)	---
Parking facility - public or commercial	CUP	CUP	CUP	CUP	--
Power distribution substation	---	---	CUP(6)	CUP(6)	---
Public utility structure (not related to transit or parking)	---	---	CUP(6)	CUP(6)	
Transit stop	P(10)	P(10)	P(10)	P(10)	P(10)
INDUSTRY, MANUFACTURING AND PROCESSING, WAREHOUSING, DISTRIBUTION					
Artisan/craft product manufacturing	---	CUP	CUP	CUP	CUP
Furniture, fixture mfg, cabinet shop	---	---	CUP	CUP	---
Printing and publishing over 15,000 sq ft	CUP(5,6)	---	CUP(5,6)	CUP(5,6)	---
Manufacturing	---	---	CUP(2)	CUP(2)	---
MOTOR VEHICLE-RELATED					
Automobile sales, new and used	---	---	CUP	CUP	---
Automobile rental	---	CUP	CUP	CUP	---
Boat, Recreational vehicle sales, new and used	---	---	CUP	CUP	---

Key to Table 3A

P Permitted Land Use Type

CUP Conditionally Permitted Land Use Type

(5) See 'Notes'

--- Land Use Type not permitted

Notes:

(1) All land use types are subject to the applicable building type and frontage type requirements of the zone.

(2) Allowed as a single-use in a building per the building placement, building type and frontage type requirements.

(3) Alcohol sales allowed if on-site with a 'sit-down' restaurant.

(4) Civic / Institutional uses within any of the allowed building types identified are subject to the special design review procedures set forth in chapter 11.60.010(4).e.

(5) Outdoor staging, storage or repair of vehicles not allowed within 60 feet of front lot line.

ALLOWED LAND USE TYPES BY ZONE

LAND USE TYPE (1)	PERMIT REQUIRED BY ZONE				
	CIV	TV	CDR 1	CDR 2	UN 1
RECREATION, EDUCATION, PUBLIC ASSEMBLY					
Community assembly, Lodge, Place of worship	P	P	P	P	CUP
Health/fitness facility	P	P	P	P	CUP
Indoor recreation facility: commercial	---	P	P	P	---
Library, museum	P	---	CUP	CUP	---
School - public or private	CUP	CUP	CUP	CUP	CUP
Theater - cinema or performing arts	CUP	---	CUP	CUP	---
RESIDENTIAL					
Emergency/Transitional shelter	CUP	---	CUP	CUP	CUP
Home occupation	P	P	P	P	P
Live-Work use/joint living-working quarters	P	P	P	P	P
Ground floor residential	---	P	P	P	P
Residential Care Facility for the Elderly (RCFE)	P	P	P	P	P
Caretaker residential use	CUP	CUP	CUP	CUP	CUP
Second unit ('granny flat')	---	---	P	P	P
Single-family (as allowed by Table 11.060.050A)	--- [8]	---	--- [8]	--- [8]	--- [8]
Multi-family (as allowed by Table 11.060.050A)	---	P	P	P	P
Mixed-use (Multi-family above; as allowed by Table 5A)	P	P	P	P	P

(6) Use allowed only on upper floor(s) or behind ground floor street frontage use with minimum 30 feet depth from face of storefronts.

(7) Drive through lane and window shall not be adjacent to front or side street lot lines.

(8) Existing uses are allowed to continue until such time that any of the thresholds in chapter 11.60.010(4)b are caused to apply.

(9) In compliance with all applicable right-of-way requirements.

(10) See Table 11.60.040(A) and for building placement requirements.

.040 Urban Standards

11.60.040 URBAN STANDARDS

Purpose.

This Chapter identifies the standards and requirements for new buildings or buildings to be modified, for the zones established in this Code to ensure that proposed development is consistent with the City’s goals for building form, character, and quality.

B. Applicability.

Each proposed building or modification shall be designed in compliance with the standards of this chapter for the applicable zone, with the exception of civic and institutional buildings, which are not required to comply with these standards, but are instead subject to a separate design review process as described in chapter 11.60.010(4)e.

Each proposed building shall be designed according to the development standards identified per the zone in which the property is located. Each zone subject to this code establishes the applicable urban standards in the following four areas which are summarized below and in Table 11.60.040(A):

TABLE 11.60.040(A) URBAN STANDARDS

The following topics are regulated for each zone subject to this code. See Table 11.60.040(A)(1-5) for the particular zone as identified at right:

Table 11.60.040(A)(1): Civic Center Zone	Table 11.60.040(A)(4): Corridor 2 Zone
Table 11.60.040(A)(2): Transit Village Zone	Table 11.60.040(A)(5): Urban Neighborhood Zone
Table 11.60.040(A)(3): Corridor 1 Zone	

1 Building Placement Requirements: Standards for where on a lot the building may be located

2 Encroachments: Standards for where and to what distance certain encroachments are allowed

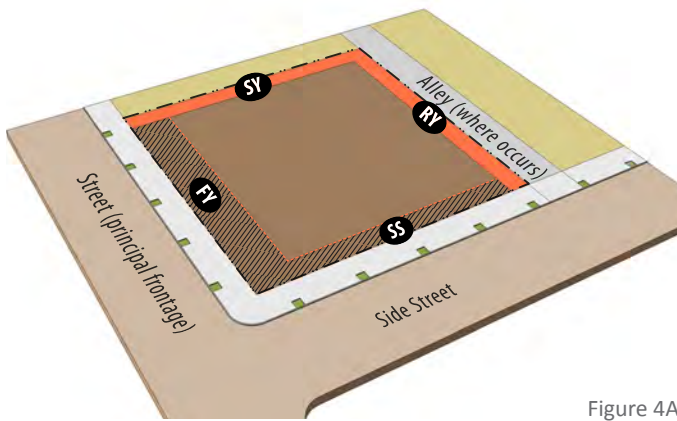


Figure 4A

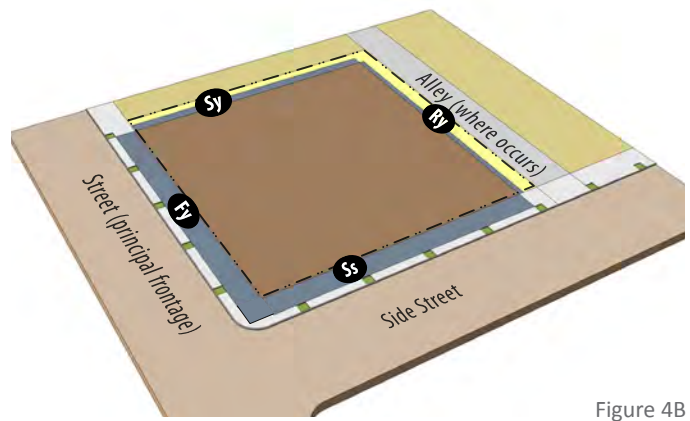


Figure 4B

- Lot Line
- Allowed Building Placement (building can be placed in this area)
- Required Building Setback (building cannot be placed within this area)
- Building can be placed within this area as specified

- Lot Line
- Required Building Setback
- Allowed Encroachment into Required Building Setback or R.O.W. as identified
- Allowed Building Placement

3 Building Height and Volume Requirements: Standards for maximum building height and for compatibility with adjacent buildings

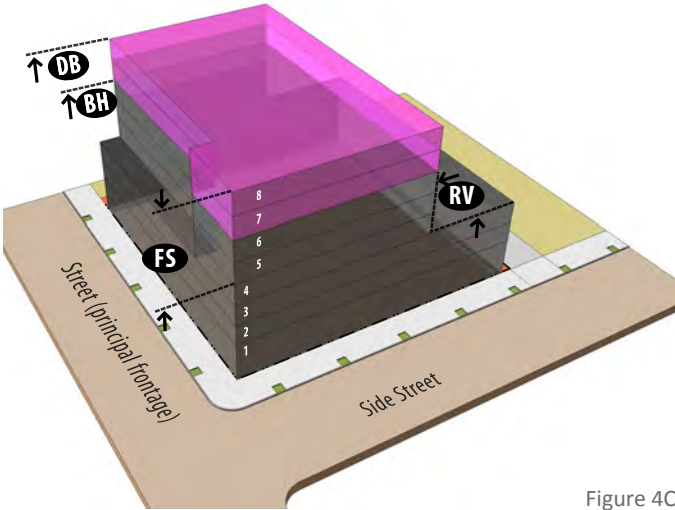


Figure 4C

4 Parking Placement Requirements: Standards for where on a lot the parking may be located and how it may be accessed.

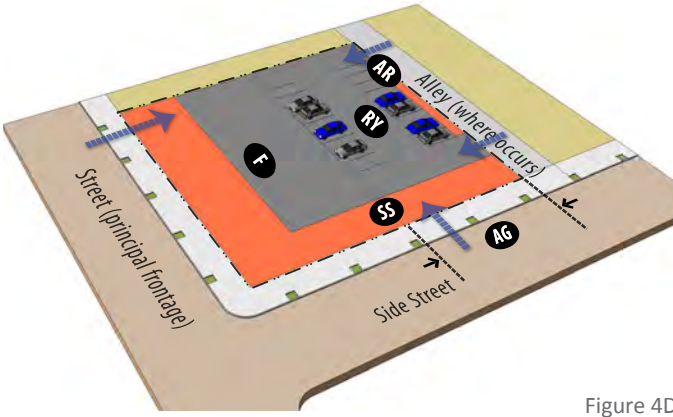


Figure 4D

- - · Lot Line
- Floors as allowed by applicable building type standards (section 11.60.050)
- Floors as allowed by bonus and applicable building type standards (section 11.60.050)

- - · Lot Line
- Allowed Parking Placement
- Required Parking Setback
- Allowed Vehicular Access to Lot

.040

TABLE 11.60.040(A)(1) URBAN STANDARDS

11.60.040(A)(1) - CIV ZONE

The following requirements apply to all property, buildings/improvements within the CIV Zone

A. Building Placement Requirements

1. The following setbacks shall be required as applicable.

BUILDING SETBACKS [a]	MIN (IN FEET)	
Front yard [b]	0' or 20' min [c]	FY
Side Street [b]	0' or 10' min [c]	SS
Side yard	10' min	SY
Rear yard	10' (from building[s] to rear P.L.)	RY
Alley rear yard	5' (from edge of alley [P.L.] to nearest building)	

[a] Building may be placed anywhere within the "Allowable Building Placement" area, as identified below, subject to the applicable building height and massing standards.

[b] Ground floor commercial required within 150 ft of street corner or public open space.

[c] Either setback may be used depending upon project design and is subject to design review.

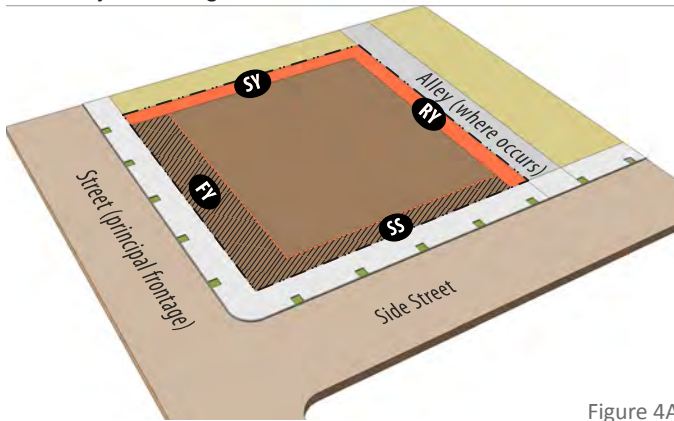


Figure 4A

- - · Lot Line
- Allowed Building Placement (building can be placed in this area)
- Required Building Setback (building cannot be placed within this area)
- Building can be placed within this area as specified

B. Encroachments into Required Setbacks or R.O.W. [a]

1. The following encroachments into required setbacks or R.O.W are allowed as identified below.

TYPE	MAX Horizontal	MAX Vertical
Front yard		
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear
Outdoor dining	min 5' clr access	min 8' clear
Side Street		
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear
Outdoor dining	min 5' clr access	min 8' clear
Interior Side yard	w/in 5' of lot line	per bldg type
Rear yard	25% of yard	per bldg type

[a] All encroachments into r.o.w. are subject to the review and approval of the South Gate Public Works Department.

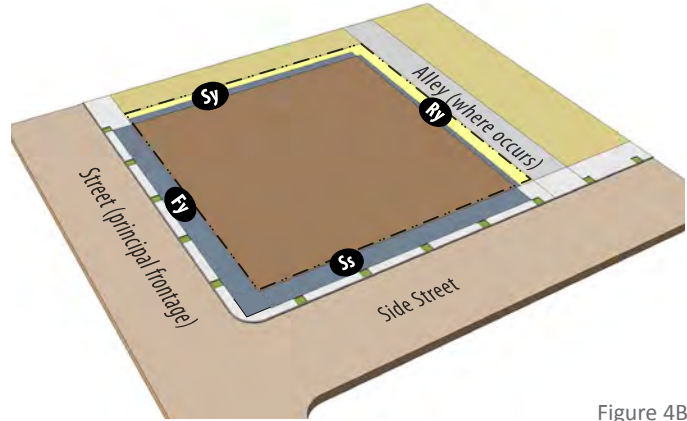


Figure 4B

- - · Lot Line
- Required Building Setback
- Allowed Encroachment into Required Building Setback per Section B.1 above, subject to approval by Public Works Department
- Allowed Building Placement

CIVIC CENTER ZONE

C. Building Height and Volume

1. The following shall be required as applicable.

BUILDING HEIGHT [a]		
Standard without bonus	up to 8 stories or 90 ft [b]	BH
Standard with bonus	up to 10 stories or 110 ft [b]	DB
Rear Volume(s): above 3rd story, within rear 1/2 of lot.		RV
Volume(s) shall be setback min 65 ft from rear property line		
Front Facade: above the 4th story, min 10 ft setback for at least 65% of facade.		FS

[a] Building may occupy the allowable envelope as identified below, subject to massing standards for applicable building type.

[b] Ground Floor Minimum Height: 12 ft

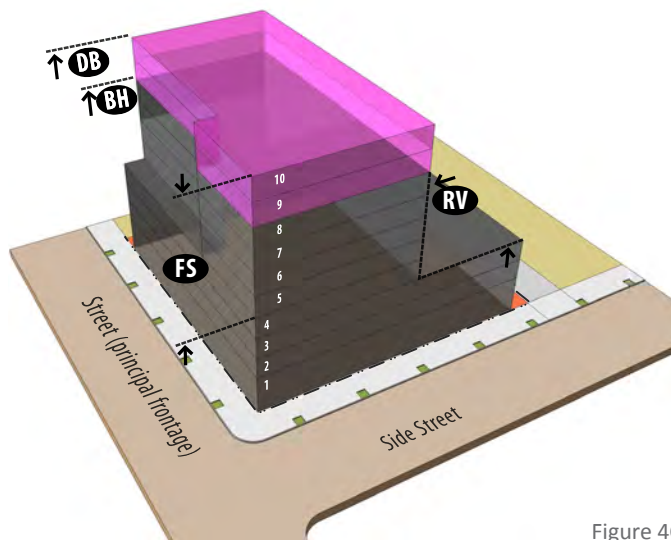


Figure 4C

- Lot Line
- Floors 1-8 as allowed by applicable building type standards (section 11.60.050)
- Floors 9-10 as allowed by bonus and applicable building type standards (section 11.60.050)

D. Parking Placement Requirements

1. **Parking Setbacks:** The following parking setbacks shall be provided as applicable. See Table 11.60.020(A) for required parking.

SETBACK	AT GRADE [a, b, c]	SUBTERRANEAN	
Front	30' min	0' min	F
Side street	20' min [b]	5' min	SS
Rear yard	5' min	---	RY
Alley rear yard	3' min	3' min	AR

[a] The above setback requirements apply to podium garages.

[b] At-grade parking allowed along side street frontage for up to rear 1/2 of lot. **AG**

[c] A Street Screen up to 3 ft in height is required along any adjacent right-of-way between at-grade parking and the sidewalk.

2. **Parking Access** (Figure 4D). Vehicular access is permitted from the rear of the lot and from the front or side street, provided that any driveway is at least 100 feet from the nearest street intersection or driveway.

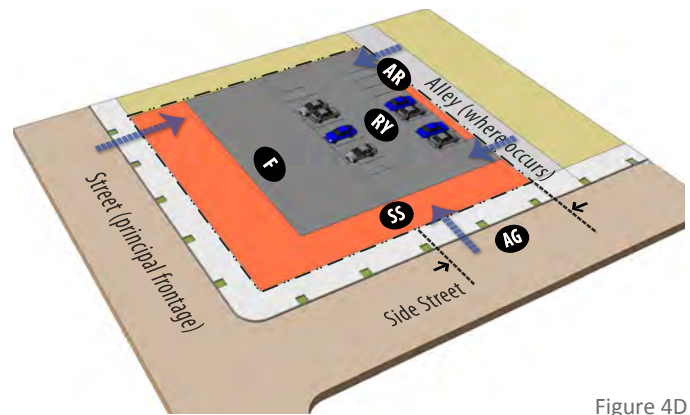


Figure 4D

- Lot Line
- Allowed Parking Placement
- Required Parking Setback
- Allowed Vehicular Access to Lot

.040

TABLE 11.60.040(A)(2) URBAN STANDARDS

11.60.040(A)(2) - TV ZONE

The following requirements apply to all property, buildings/improvements within the TV Zone

A. Building Placement Requirements

1. The following setbacks shall be required as applicable.

BUILDING SETBACKS [a]	MIN (IN FEET)	
Front yard [b]	0' or 10' [c]	FY
Side Street [b]	0' or 10' [c]	SS
Side yard	0' or 10' [c]	SY
Rear yard	10' (from building[s] to rear P.L.)	RY
Alley rear yard	3' (from edge of alley [P.L.] to nearest building)	

- [a] Building may be placed anywhere within the "Allowable Building Placement" area, as identified below, subject to the applicable building height and massing standards.
- [b] Ground floor commercial required within 150 ft of street corner or public open space.
- [c] Either setback may be used depending upon project design and is subject to design review.

B. Encroachments into Required Setbacks or R.O.W. [a]

1. The following encroachments into required setbacks or R.O.W are allowed as identified below.

TYPE	MAX Horiz.	MAX Vert.	
Front yard			Fy
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	
Outdoor dining	min 5' clr access	min 8' clear	
Side Street			Ss
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	
Outdoor dining	min 5' clr access	min 8' clear	
Interior Side yard	w/in 5' of lot line	per bldg type	Sy
Rear yard	w/in 7' of lot line	per bldg type	Ry

[a] All encroachments into r.o.w. are subject to the review and approval of the South Gate Public Works Department.

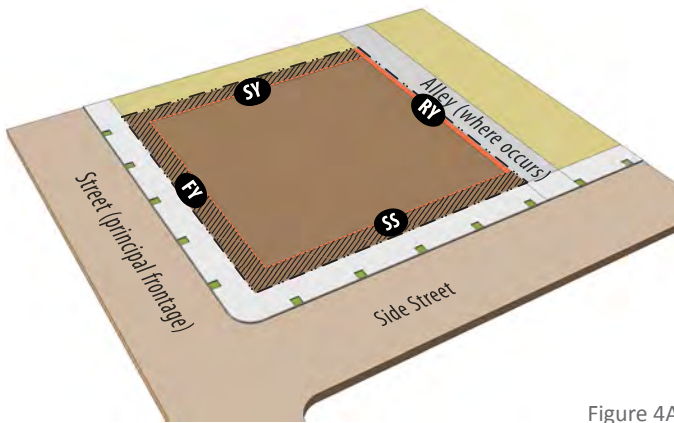


Figure 4A

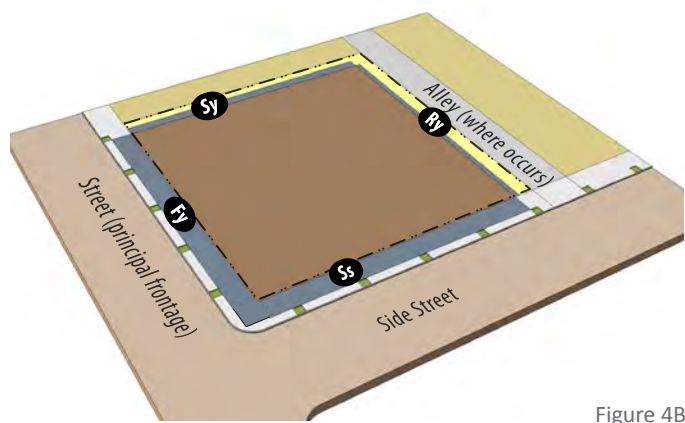


Figure 4B

- · - · Lot Line
- Allowed Building Placement (building can be placed in this area)
- Required Building Setback (building cannot be placed within this area)
- Building can be placed within this area as specified

- · - · Lot Line
- Required Building Setback
- Allowed Encroachment into Required Building Setback per Section B.1 above, subject to approval by Public Works Department
- Allowed Building Placement

TRANSIT VILLAGE ZONE

C. Building Height and Volume

1. The following shall be required as applicable.

BUILDING HEIGHT [a]		
Standard without bonus	up to 8 stories or 90 ft [b]	BH
Standard with bonus	up to 10 stories or 110 ft [b]	DB
Rear Volume(s): above 3rd story, within rear 1/2 of lot.		RV
Min 20 ft setback from rear property line required		
Front Facade: above the 4th story, min 10 ft setback for at least 50% of facade.		FS

[a] The building may occupy the allowable envelope as identified below, subject to massing standards for applicable building type.

[b] Ground Floor Minimum Height: 12 ft

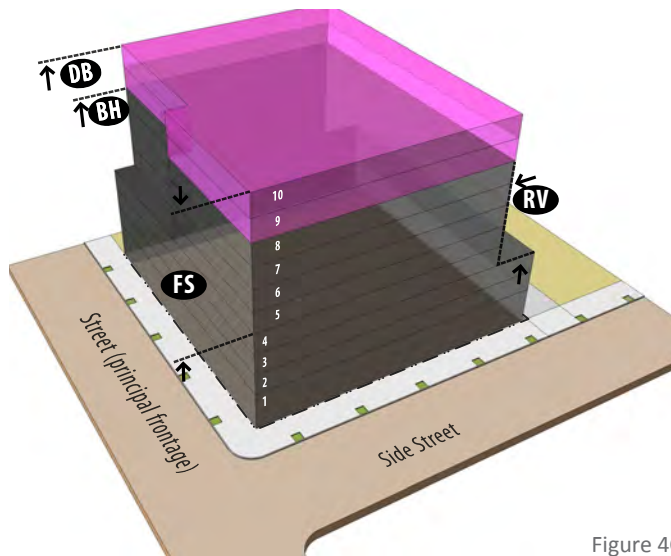


Figure 4C

- Lot Line
- Floors 1-8 as allowed by applicable building type standards (section 11.60.050)
- Floors 9-10 as allowed by bonus and applicable building type standards (section 11.60.050)

D. Parking Placement Requirements

1. **Parking Setbacks:** The following parking setbacks shall be provided as applicable. See Table 11.60.020(A) for required parking.

SETBACK	AT GRADE [a, b]	SUBTERRANEAN	
Front	30' min	-	F
Side street	5' min [b]	5' min	SS
Rear yard	5' min	---	RY
Alley rear yard	3' min	3' min	AR

[a] The above setback requirements apply to podium garages.

[b] At-grade parking allowed along side street frontage for up to rear 1/2 of lot. **AG**

[c] A Street Screen up to 3 ft in height is required along any adjacent right-of-way between at-grade parking and the sidewalk.

2. **Parking Access** (Figure 4D). Vehicular access is permitted from the rear of the lot and from the front or side street, provided that any driveway is at least 100 feet from the nearest street intersection or driveway.

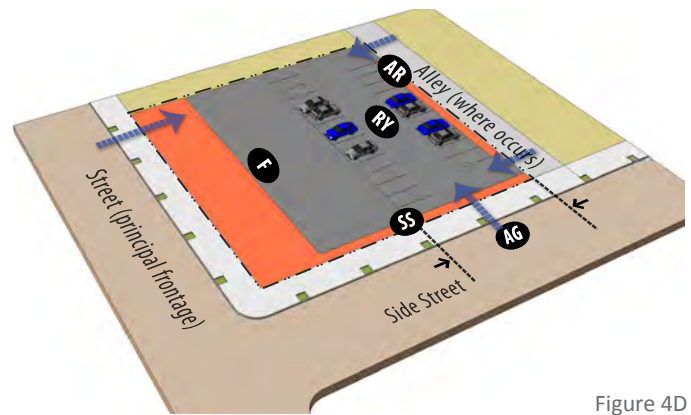


Figure 4D

- Lot Line
- Allowed Parking Placement
- Required Parking Setback
- Allowed Vehicular Access to Lot

.040

TABLE 11.60.040(A)(3) URBAN STANDARDS

11.60.040(A)(3) - CDR-1 ZONE

The following requirements apply to all property, buildings/improvements within the CDR 1 Zone

A. Building Placement Requirements

1. The following setbacks shall be required as applicable.

BUILDING SETBACKS [a]	MIN (IN FEET)	
Front yard [b]	0' for 50% of frontage no min for remainder	FY
Side Street [c]	0' for 50% of frontage no min for remainder	SS
Side yard	10' min	SY
Rear yard	10' (from building[s] to rear P.L.)	RY

Alley rear yard 3' (from edge of alley [P.L.] to nearest building)

[a] Building may be placed anywhere within the "Allowable Building Placement" area, as identified below, subject to the applicable building height and massing standards.

[b] Ground floor commercial required within 150 ft of street corner.

[c] Ground floor commercial required within 50 ft of street corner.

Note: Fuel stations only allowed on corner lots.

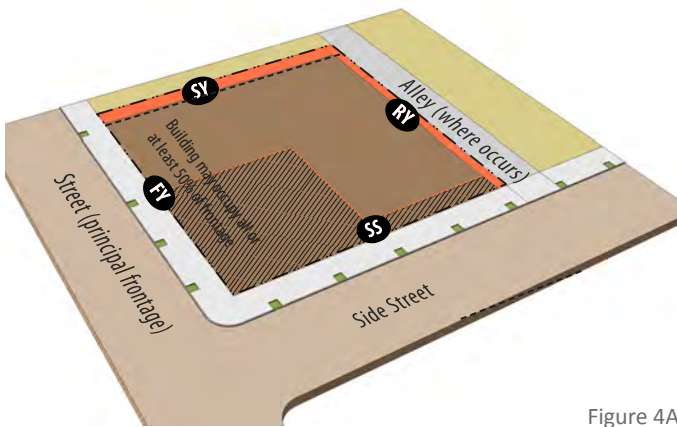


Figure 4A

- · · Lot Line
- Allowed Building Placement (building can be placed in this area)
- Required Building Setback (building cannot be placed within this area)
- Building can be placed within this area as specified

B. Encroachments into Required Setbacks or R.O.W. [a]

1. The following encroachments into required setbacks or R.O.W are allowed as identified below.

TYPE	MAX Horiz.	MAX Vert.	
Front yard			Fy
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	
Outdoor dining	min 5' clr access	min 8' clear	
Side Street			Ss
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	
Outdoor dining	min 5' clr access	min 8' clear	
Interior Side yard	w/in 5' of lot line	per bldg type	Sy
Rear yard	w/in 5' of lot line	per bldg type	Ry

[a] All encroachments into r.o.w. are subject to the review and approval of the South Gate Public Works Department.

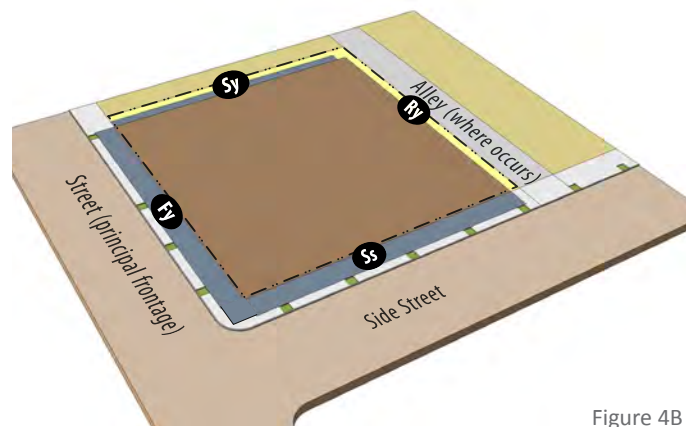


Figure 4B

- · · Lot Line
- Required Building Setback
- Allowed Encroachment into Required Building Setback per Section B.1 above
- Allowed Building Placement

CORRIDOR 1 ZONE

C. Building Height and Volume

1. The following shall be required as applicable.

BUILDING HEIGHT [a]		
Standard without bonus	up to 6 stories or 75 ft [b]	BH
Standard with bonus	up to 8 stories or 90 ft [b]	DB
Rear Volume(s): above 3rd story, within rear 1/2 of lot. RV		
Min 50 ft setback from rear property line required		
Front Facade: above the 4th story, min 10 ft setback for at least 75% of facade. FS		

[a] The building may occupy the allowable envelope as identified below, subject to massing standards for applicable building type.

[b] Ground Floor Minimum Height: 12 ft

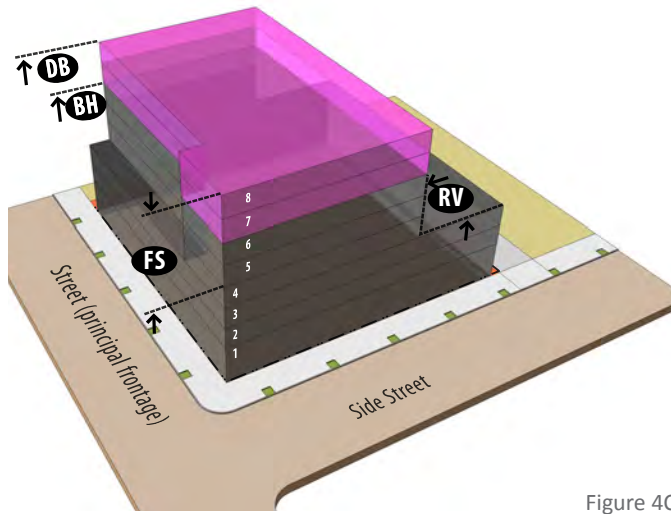


Figure 4C.

- Lot Line
- Floors 1-6 as allowed by applicable building type standards (section 11.60.050)
- Floors 7-8 as allowed by bonus and applicable building type standards (section 11.60.050)

D. Parking Placement Requirements

1. **Parking Setbacks:** The following parking setbacks shall be provided as applicable. See Table 11.60.020(A) for required parking.

SETBACK	AT GRADE [a, b]	SUBTERRANEAN	
Front	10' min for 50% of frontage	5' min	F
	60' min for 50% of frontage		
Side street	5' min [b]	5' min	SS
	60' min for 50% of frontage		
Rear yard	5' min	---	RY
Alley rear yard	3' min	3' min	AR

[a] The above setback requirements apply to podium garages.

[b] At-grade parking allowed along side street frontage for up to rear 1/2 of lot. **AG**

[c] A Street Screen up to 3 ft in height is required along any adjacent right-of-way between at-grade parking and the sidewalk.

2. **Parking Access** (Figure 4D). Vehicular access is permitted from the rear of the lot and from the front or side street, provided that any driveway is at least 100 feet from the nearest street intersection or driveway.

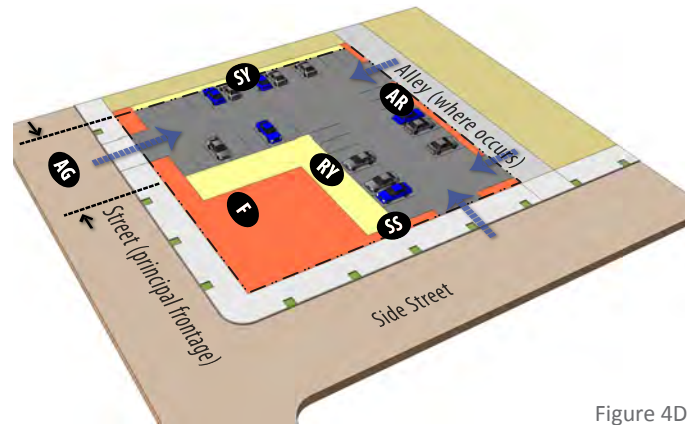


Figure 4D

- Lot Line
- Allowed Parking Placement
- Required Parking Setback
- Allowed Vehicular Access to Lot

.040

TABLE 11.60.040(A)(4) URBAN STANDARDS

11.60.040(A)(4) - CDR-2 ZONE

The following requirements apply to all property, buildings/improvements within the CDR 2 Zone

A. Building Placement Requirements

1. The following setbacks shall be required as applicable.

BUILDING SETBACKS	MIN (IN FEET)	
Front yard [b]	0' for 65% of frontage no min for remainder	FY
Side Street	0' for 50% of frontage	SS
Side yard	10' min	SY
Rear yard	20' (from building[s] to rear P.L.)	RY
Alley rear yard	3' (from edge of alley [P.L.] to nearest building)	

[a] Building may be placed anywhere within the "Allowable Building Placement" area, as identified below, subject to the applicable building height and massing standards.

[b] Ground floor commercial required within 75 ft of street corner.

Note: Fuel stations only allowed on corner lots.

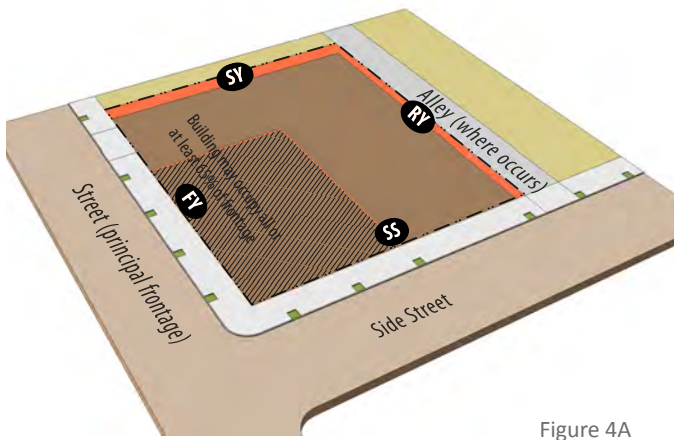


Figure 4A

- - · Lot Line
- Allowed Building Placement (building can be placed in this area)
- Required Building Setback (building cannot be placed within this area)
- Building can be placed within this area as specified

B. Encroachments into Required Setbacks or R.O.W. [a]

1. The following encroachments into required setbacks or R.O.W are allowed as identified below.

TYPE	MAX Horiz.	MAX Vert.	
Front yard			Fy
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	
Outdoor dining	min 5' clr access	min 8' clear	
Side Street			Ss
(Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	
Outdoor dining	min 5' clr access	min 8' clear	
Interior Side yard	w/in 5' of lot line	per bldg type	Sy
Rear yard	w/in 10' of lot line	per bldg type	Ry

[a] All encroachments into r.o.w. are subject to the review and approval of the South Gate Public Works Department.

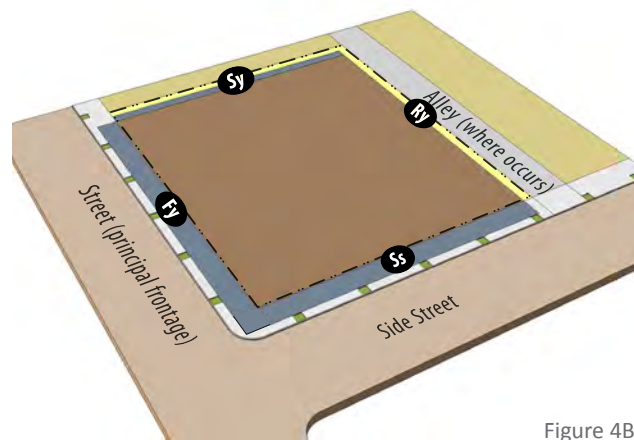


Figure 4B

- - · Lot Line
- Required Building Setback
- Allowed Encroachment into Required Building Setback per Section B.1 above, subject to approval by Public Works Department
- Allowed Building Placement

CORRIDOR 2 ZONE

C. Building Height and Volume

1. The following shall be required as applicable.

BUILDING HEIGHT [a]		
Standard without bonus	up to 4 stories or 50 ft [b]	BH
Standard with bonus	up to 5 stories or 60 ft [b]	DB
Rear Volume(s): above 3rd story, within rear 1/2 of lot.		RV
Min 20 ft setback from rear property line required		
Front Facade: above the 4th story, min 10 ft setback for at least 50% of facade.		FS

[a] The building may occupy the allowable envelope as identified below, subject to massing standards for applicable building type.

[b] Ground Floor Minimum Height: 10 ft

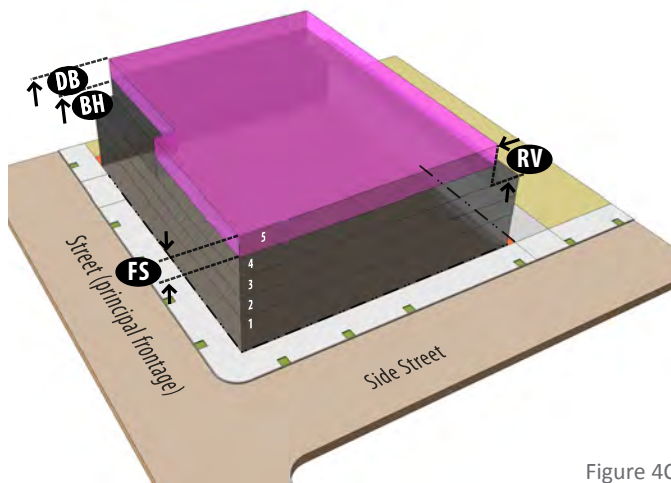


Figure 4C.

- - · Lot Line
- Floors 1-4 as allowed by applicable building type standards (section 11.60.050)
- Floor 5 as allowed by bonus and applicable building type standards (section 11.60.050)

D. Parking Placement Requirements

1. **Parking Setbacks:** The following parking setbacks shall be provided as applicable. See Table 11.60.020(A) for required parking.

SETBACK	AT GRADE [a, b]	SUBTERRANEAN
Front	10' min for 35% of frontage 60' min for 65% of frontage	5' min F
Side street	5' min [b] 60' min for 50% of frontage	5' min SS
Rear yard	5' min	--- RY
Alley rear yard	3' min	3' min AR

[a] The above setback requirements apply to podium garages.

[b] At-grade parking allowed along side street frontage for up to rear 1/2 of lot. **AG**

[c] A Street Screen up to 3 ft in height is required along any adjacent right-of-way between at-grade parking and the sidewalk.

2. **Parking Access** (Figure 4D). Vehicular access is permitted from the rear of the lot and from the front or side street, provided that any driveway is at least 100 feet from the nearest street intersection or driveway.

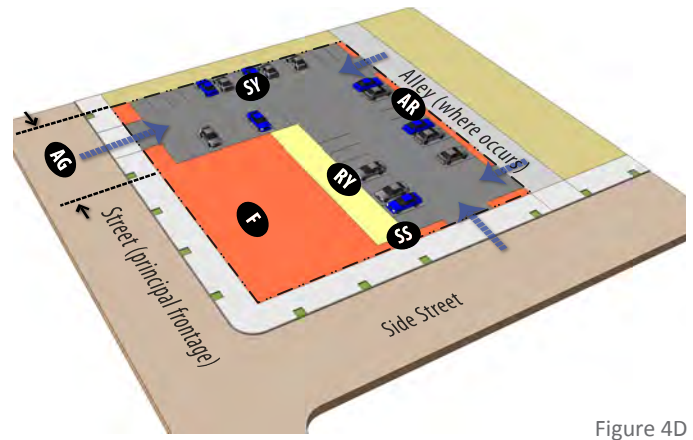


Figure 4D

- - · Lot Line
- Allowed Parking Placement
- Required Parking Setback
- Allowed Vehicular Access to Lot

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TABLE 11.60.040(A)(5) URBAN STANDARDS

11.60.040(A)(5) - UN-1 ZONE

The following requirements apply to all property, buildings/improvements within the UN 1 Zone

A. Building Placement Requirements

1. The following setbacks shall be required as applicable.

BUILDING SETBACKS	MIN (IN FEET)	
Front yard [b]	10'	FY
Side Street	10'	SS
Side yard	10'	SY
Rear yard	10' (from building[s] to rear P.L.)	RY
Alley rear yard	3' (from edge of alley [P.L.] to nearest building)	

[a] Building may be placed anywhere within the "Allowable Building Placement" area, as identified below, subject to the applicable building height and massing standards.

[b] Ground floor commercial required within 50 ft of street corner.

B. Encroachments into Required Setbacks or R.O.W. [a]

1. The following encroachments into required setbacks or R.O.W are allowed as identified below.

TYPE	MAX Horiz.	MAX Vert.	
Front yard (Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	Fy
Outdoor dining	min 5' clr access	min 8' clear	
Side Street (Awnings, Signs, Gallery)	w/in 2' of curb	min 8' clear	Ss
Outdoor dining	min 5' clr access	min 8' clear	
Interior Side yard	w/in 5' of lot line	per bldg type	Sy
Rear yard	w/in 5' of lot line	per bldg type	Ry

[a] All encroachments into r.o.w. are subject to the review and approval of the South Gate Public Works Department.

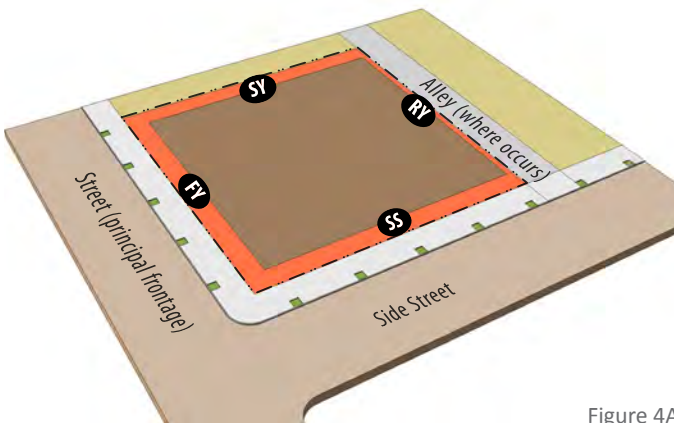


Figure 4A

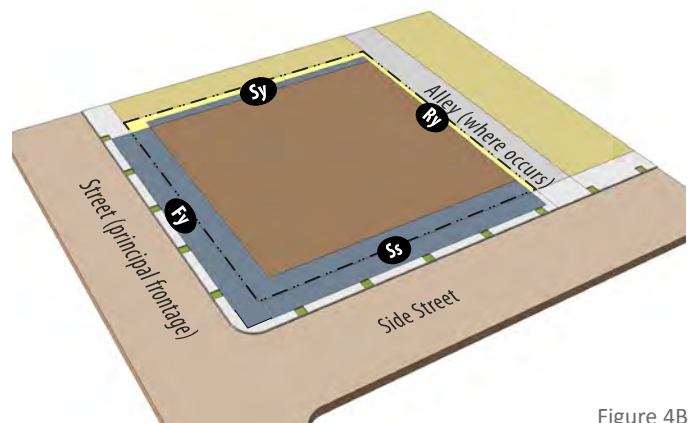


Figure 4B

- Lot Line
- Allowed Building Placement (building can be placed in this area)
- Required Building Setback (building cannot be placed within this area)

- Lot Line
- Required Building Setback
- Allowed Encroachment into Required Building Setback per Section B.1 above, subject to approval by Public Works Department
- Allowed Building Placement

URBAN NEIGHBORHOOD 1 ZONE

C. Building Height and Volume

1. The following shall be required as applicable.

BUILDING HEIGHT [a]		
Standard without bonus	up to 4 stories or 50 ft [b]	BH
Standard with bonus	up to 5 stories or 60 ft [b]	DB
Rear Volume(s): above 3rd story, within rear 1/2 of lot. Min 50 ft setback from rear property line required		RV
Front Facade: above the 4th story, min 10 ft setback for at least 75% of facade.		FS

[a] The building may occupy the allowable envelope as identified below, subject to massing standards for applicable building type.

[b] Ground Floor Minimum Height: 10 ft

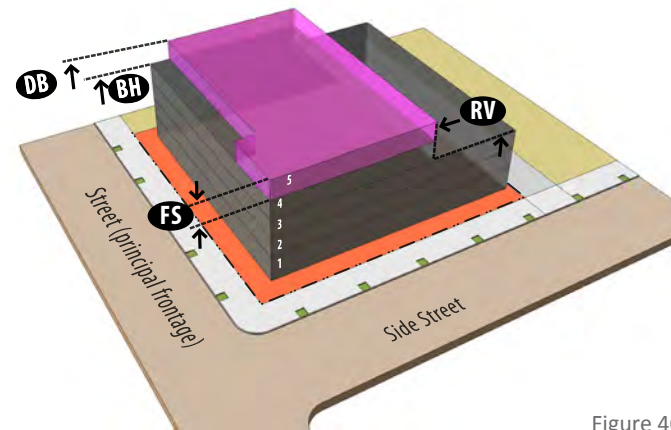


Figure 4C

- Lot Line
- Floors 1-4 as allowed by applicable building type standards (section 11.60.050)
- Floor 5 as allowed by bonus and applicable building type standards (section 11.60.050)

D. Parking Placement Requirements

1. **Parking Setbacks:** The following parking setbacks shall be provided as applicable. See Table 11.60.020(A) for required parking.

SETBACK	AT GRADE [a, b]	SUBTERRANEAN	
Front	30' min	-	F
Side street	10' min [b]	5' min	SS
Rear yard	5' min	10' min	RY
Alley rear yard	3' min	3' min	AR

[a] The above setback requirements apply to podium garages.

[b] At-grade parking allowed along side street frontage for up to rear 1/2 of lot. **AG**

[c] A Street Screen up to 3 ft in height is required along any adjacent right-of-way between at-grade parking and the sidewalk.

2. **Parking Access** (Figure 4D). Vehicular access is permitted from the rear of the lot and from the front or side street, provided that any driveway is at least 100 feet from the nearest street intersection or driveway.

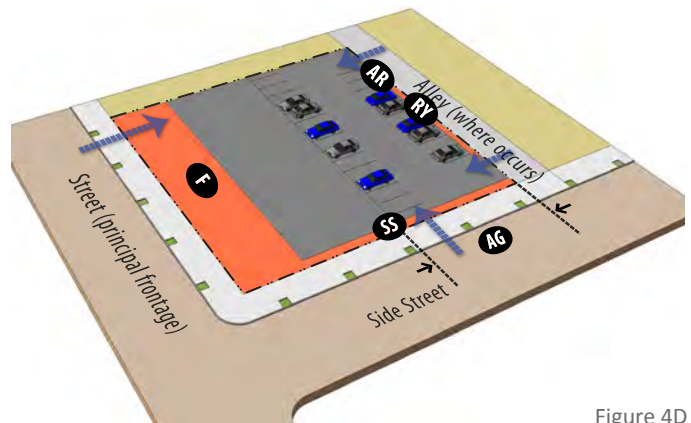


Figure 4D

- Lot Line
- Allowed Parking Placement
- Required Parking Setback
- Allowed Vehicular Access to Lot

.050 Building Types

11.60.050(1) ALLOWED BUILDING TYPES

This chapter identifies the building types allowed within the zones subject to this Code, and provides design standards to ensure that proposed development is consistent with the City’s goals for building form, character, and quality.

Each building shall be designed in compliance with the standards of this chapter, with the exception of civic and institutional buildings, which are not required to comply with these standards, but are instead subject to the City’s Site Plan Review process.

Table 11.60.050(A) identifies the allowed building types according to their intensity from most intense (Flex-Block) to least intense (House).

Building Types and Compatibility with Adjacent Buildings/Uses.

Where zones and/or buildings of varying scale and use adjoin, see 11.60.050(2) for additional standards are applied to provide for compatibility.

TABLE 11.60.050(A) ALLOWED BUILDING TYPES AND STANDARDS BY ZONE

Building Type	Lot Width [1]		Lot Depth [1]		Max floors allowed by Zone									
	(along primary frontage)		(along secondary frontage or interior side yard)		CIV		TV		CDR 1		CDR 2		UN 1	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)	Max	(w\ bonus)	Max	(w\ bonus)	Max	(w\ bonus)	Max	(w\ bonus)	Max	(w\ bonus)
A. Flex Block (refer to 11.60.050(3)A)	120 [2]	250 [2]	100 [2]	250 [2]	8	10	8	10	6	8	4	5	4	5
B. Hybrid Court (refer to 11.60.050(3)B)	150 [2]	250 [2]	140 [2]	250 [2]	3	4	4	5	4	5	3	4	4	5

[1] per chapter 11.60.080(3) and subject to applicable massing standards
 [2] for existing lots, see Lot and Access standards of the applicable Building Type.

11.60.050(2) GENERAL REQUIREMENTS FOR BUILDING TYPES

The following requirements apply to all building types in any zone subject to this Code. Standards listed under each building type supplement those listed below.

1. Lot Standards

- a. Each building shall be designed per the applicable lot size standards identified in Table 11.60.050(A). As defined in chapter 11.60.110 of this Code, 'lot' shall mean the required area and configuration of land for the purposes of locating a building, as distinct from a 'parcel' which may contain more than one lot. Upon designing a building in compliance with this Code, the lot lines may remain or be removed in compliance with the applicable requirements for conveyance of real property.
- b. Only accessory buildings, as defined in chapter 11.60.050, shall be allowed to occupy the same lot as the primary building.

2. Access Standards

- a. Where an alley is present, parking shall be accessed through the alley.
- b. For corner lots without alley access, parking shall be accessed from the side street in combination with the requirements of the particular building type (chapter 11.60.050(3)).
- c. Parking may be accessed through the front of a lot per the requirements for parking placement in Table 11.60.040(A) and the requirements of the particular building type (chapter 11.60.050(3)).
- d. Entrances to garages, subterranean garages and/or driveways shall be located as close as possible to the side/rear of each lot. Front access is allowed, only if the required distance from the nearest driveway or street is maintained and that the access complies with the applicable width requirements.

3. Parking Standards

- a. Required parking shall be provided on the same lot as the primary building except where on-site parking is not required. and/or within areas identified on the Regulating Plan as 'park-once' districts.

4. Service Standards

- a. Utility access, above-ground equipment, trash enclosures and such services shall be located within the rear half of a lot and in compliance with frontage requirements for side street frontage in chapter 11.60.060.
- b. Rooftop equipment shall be screened by a parapet that is architecturally integral to the primary building.

5. Landscape Standards

- a. All required yards shall be landscaped unless otherwise specified by the requirements for the applicable building type (chapter 11.60.050(3)) and frontage type (chapter 11.60.060).
- b. Within a required rear yard or a side yard of at least 10 feet in width, at least one tree (36" box) shall be provided for every 25 linear feet of yard length.

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- c. Open spaces located over podium or subterranean garages shall be designed to provide a landscape which mitigates the hardscape of the podium surface.
- d. Within a required front yard, at least one tree (15 gallon or 24" box size) shall be provided per every 50 linear feet of yard length as measured along the frontage.
- e. All trees, plants, and materials are subject to the review and approval of the Community Development Director prior to purchase and installation.

6. Frontage Standards

- a. Each building shall incorporate an allowed frontage type along any of the lot's frontages.. Frontage exists where the lot's boundary is adjacent to a public right-of-way, including a public open space such as a plaza, park or paseo; or a private open space such as a forecourt or courtyard.
- b. Entrance doors, rooms such as living rooms and dining rooms shall be oriented, fronting toward the street and/or any adjacent private open space. Service rooms and areas shall be oriented to the rear of the lot.

7. Building Size and Massing Standards

- a. Within this Code, building size is sometimes expressed in fractional terms such as "35%", identifying that there are particular community objectives regarding scale and compatibility with neighboring buildings/uses. For example, "35" identifies that the allowed maximum floor area for the identified story is 35% of the allowed ground floor footprint.

In order to apply these requirements, it is necessary to subtract the required building setbacks and any required on-site open space from the lot area. The resulting figure is the maximum allowable ground floor footprint or 'ground floor' in the table below.

Allowed Massing by Story										
Ratio of Each Story in % of Ground Floor										
Story	ground floor	2	3	4	5	6	7	8	9	10
%	100	100	100	75	50	35	10	n/a	n/a	n/a

- b. At the discretion of the Community Development Director, per Table 11.60.010(B), up to a cumulative 15% in addition to the specified percentages, may be added to the specified percentages and distributed among the upper stories.

11.60.050(3) - SPECIFIC REQUIREMENTS FOR BUILDING TYPES

The standards on the following pages are for each of the allowed building types as identified in Table 11.60.050(A).

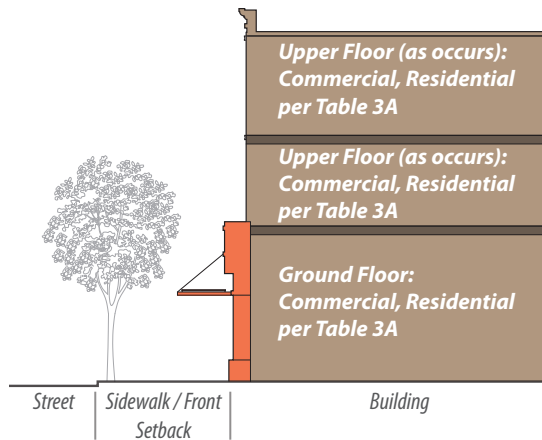
.050 11.60.050(3)A - FLEX BLOCK

1. Description and Intent:

As its name implies, a building designed for a variety of purposes and locations. This type may be occupied by retail, service, office, residential and/or live-work uses on the ground floor, with upper floors also configured for those uses or strictly for one use such as housing. This type depends upon public open space as it does not typically incorporate private open space for all of its occupants. This type may occur as a single-story building that is single- or mixed-use or, as a multi-story, mixed use building.

1a. Residential Density:

The Flex-Block type ranges from 30 to 100 dwellings per acre depending upon the actual number of stories, and size of dwelling units.



EXAMPLES: FLEX-BLOCK



Example of Flex-Block containing major retailer and a variety of housing choices



Example of Flex-Block containing ground-floor commercial with a variety of housing choices and/or office above.



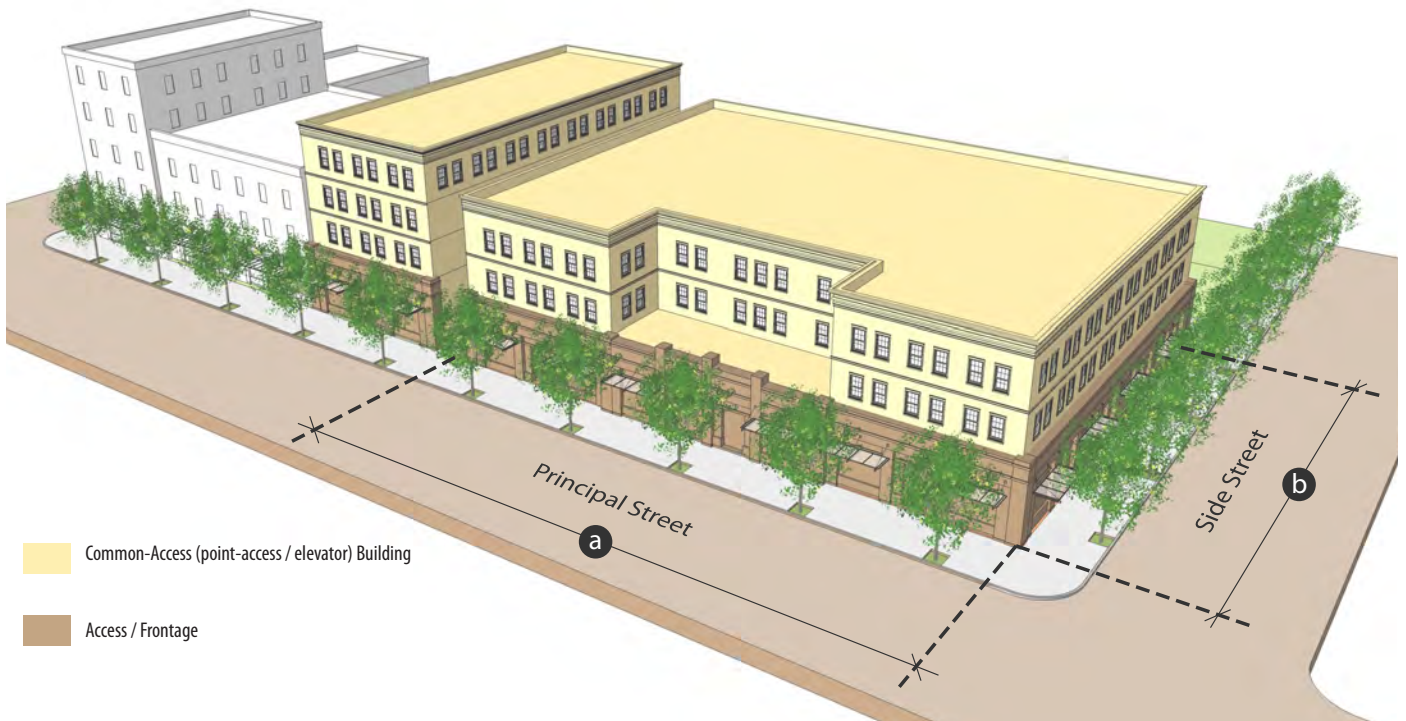
Example of Flex-Block as single-story, single-use, commercial building adjacent to another such building and tenant.



Example of Flex-block containing housing and/or lodging

The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Flex-Block building type and not necessarily the allowed building length/lot width. Individual designs may vary provided that they are in compliance with the applicable standards.

ILLUSTRATIVE EXAMPLE OF THE FLEX-BLOCK BUILDING TYPE



2. Lot and Access Standards.

A Flex-Block building shall be located on a lot per the following standards, as applicable:

Lot Standards		
	Min (ft)	Max (ft)
Width: new lot	120	400
existing lot	no min	400
Depth: new lot	100	250
existing lot	90	250

- a. The main entrance to each ground floor storefront shall be directly from the street and/or the adjoining public open space.
- b. Ground floor storefronts shall be at the same grade as the sidewalk of the adjacent public street or open space.
- c. Entrance to non-residential portion(s) of the building shall be through a street level lobby, or through a podium lobby accessible from the street or through a side yard.

3. Parking Standards

- a. Required parking shall be accommodated in an underground garage, above-grade (podium) garage, surface parking as allowed or a combination of the three as allowed by the applicable zone.
- b. Dwellings may have direct access to their parking stall(s).

Above:

Illustrative Diagram of Flex-Block Building Type (see section 4 'Variations' for examples of Flex-Block being applied to various sites).

The above massing has not been articulated in order to focus on the building's relationship to the site and street frontage.

Individual designs are allowed to vary provided that the intent of the applicable zone is maintained and all applicable requirements are followed.

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4. Variations.

The following are examples of the flex block building type applied to typical sites in the zones subject to this code. Other variations are possible provided that the design complies with the applicable requirements of this code.

Key

- Building Footprint
- Required Frontage/Access (see 11.60.050(3)A.7 'Frontage Standards')
- Parking (surface or podium/subterranean)
- ➔ Vehicular access to lot

Right:
The massing has not been articulated in order to focus on the building's relationship to the site and street frontage.

Individual designs are allowed to vary provided that the intent of the applicable zone is maintained and all applicable requirements are followed.

Lot Standards	
A	Up to 50% of C (max)
B	At least 50% of C (min)

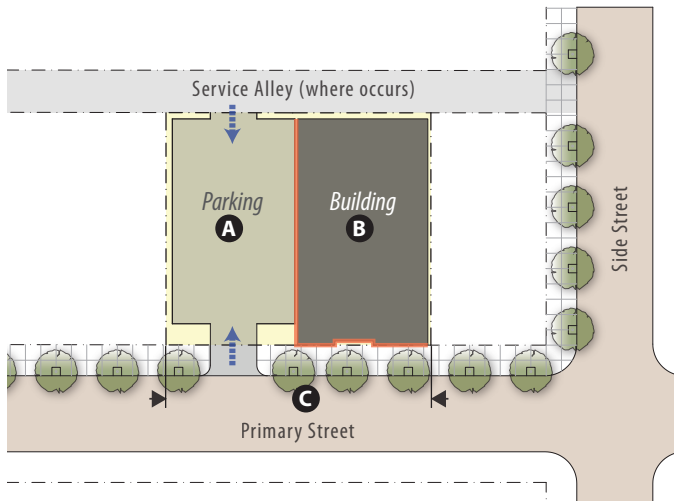
A. Small Lot on Corridor (100 ft. min depth).

This scenario adapts to high volume corridors and the smallest of lot depths by placing housing and/or retailer(s) in a single- or multi-story building on at least half of the frontage to help shape the streetscape while providing convenient off-street parking visible from the corridor. Surface parking and/or podium parking configurations are compatible with this scenario.



Above: Example of at-grade, street-accessible parking along or between flex block buildings.

Below: Plan-view of above example.



VARIATIONS OF THE FLEX-BLOCK BUILDING TYPE

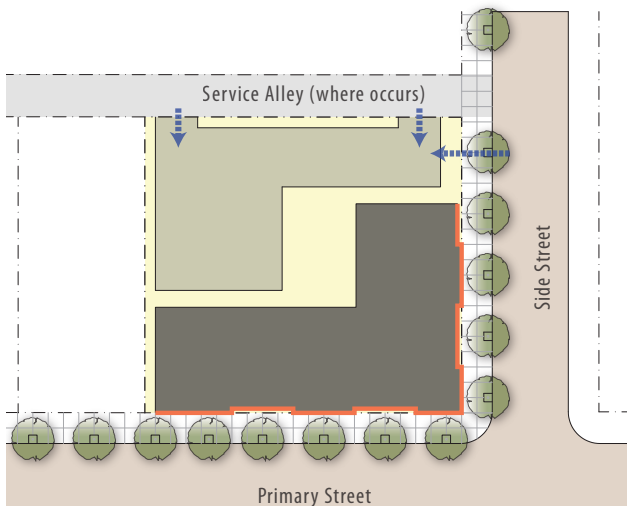
B. Medium Lot (140 ft. min depth).

This scenario adapts to the relatively shallow lot depths along a majority of the corridors by locating the upper volumes of the building near the front of the lot with surface parking and/or smaller volumes near the rear of the lot where compatibility with adjacent neighborhoods is key. Surface parking and/or podium parking configurations are compatible with this scenario.



Above: Example of at-grade parking behind flex block building.

Below: Plan-view of above example.



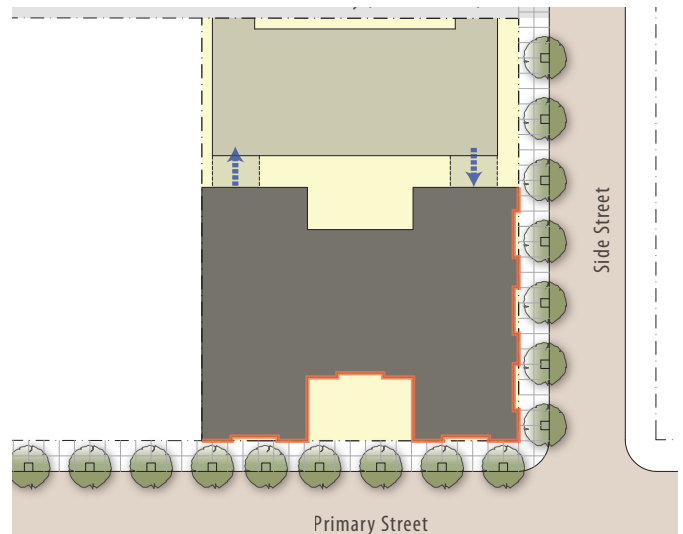
C. Large Lot (250 ft. max depth).

This scenario is for large and relatively deep lots along existing corridors or for new blocks that can be appropriately sized to accommodate larger buildings. Surface parking and/or podium parking configurations are compatible with this scenario.



Above: Example of podium/subterranean parking serving flex-block building.

Below: Plan-view of above example.



.050**5. Open Space Standards**

- a. This type does not typically include open space as it relies on the adjacent streetscape or nearby shared open space.

A patio may be provided at the ground floor of each dwelling or commercial suite if the patio is at least 10 feet in depth (measured from the entry to the side property line). If other open space is provided, it may be located on upper floors in the form of a podium courtyard.

REQUIRED OPEN SPACE

6. Landscape Standards

- a. See general requirements 11.60.050(2).

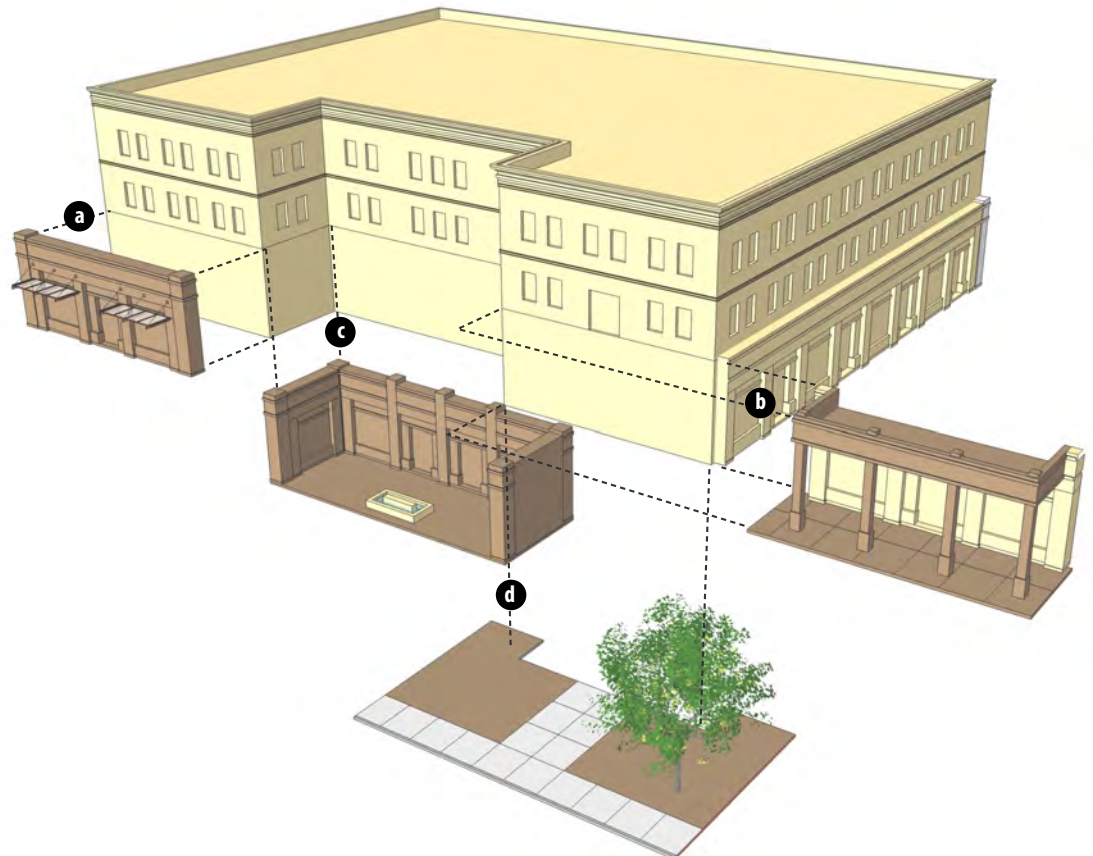
7. Frontage Standards

- a. Ground floor commercial suites along any public frontage or public space shall have their entrance doors oriented toward the adjacent street or public space. Service rooms shall be oriented to sideyards, service yards, rear yards and internal corridors
- b. Stoops up to 3 feet in height and dooryards up to 2 feet in height may be placed within a private patio or shared open space.
- c. All required frontages shall comply with the applicable requirements of 11.60.060 'Frontage Types'

ALLOWED FRONTAGE TYPES

*Right:
The range of frontage types allowed on the Flex-Block building type is illustrated to show the variety of responses that can be made where the building meets the streetscape or public open space.*

See 11.60.060 'Frontage Types' for individual requirements of each allowed frontage type.



- a** Shopfront see 11.60.060B
- b** Gallery see 11.60.060A
- c** Forecourt see 11.60.060C
- d** Front Yard see 11.60.060G

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8. Building Size and Massing Standards

i. Building Size and Massing

- a. The overall form and volume of the building shall shape the adjacent streetscape with a streetwall of up to 4 stories with smaller volumes above to transition to the adjacent existing neighborhoods. Refer to Table 11.60.040(A) - Urban Standards - for additional requirements.
- b. Buildings may contain any of three types of dwellings: flats, town houses and lofts.
- d. Dwellings shall have at least one side exposed to outdoors with direct access to a, patio, terrace or balcony.
- e. The maximum allowed volume, per floor, is identified the table below. The identified ratio for each story is allowed to be combined or distributed, by story, as allowed by the applicable zone, subject to City approval:

*Right:
Example of applying the allowed building area per floor showing how the floor area may be combined, articulated into individual volumes of varying or equal size, or further articulated into multiple volumes of varying or equal size.*

The resulting design is subject to the requirements of this code.

Allowed Massing by Story										
Ratio of Each Story in % of Ground Floor										
Story	ground floor	2	3	4	5	6	7	8	9	10
%	100	100	100	100	80	60	40	40	30	30

9. Accessory Dwellings

not allowed

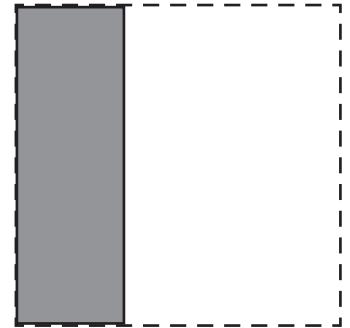
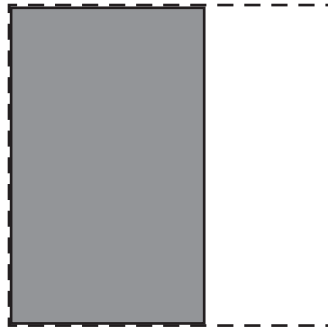
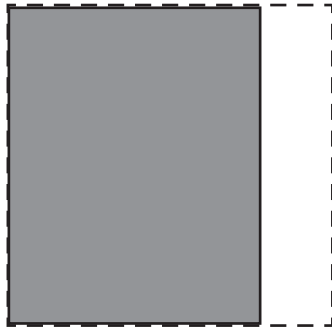
EXAMPLE OF APPLYING MASSING STANDARDS

80% allowed for 3rd floor

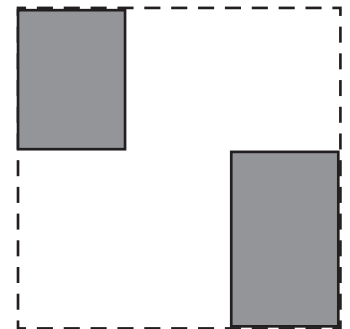
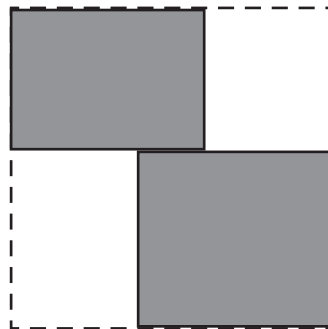
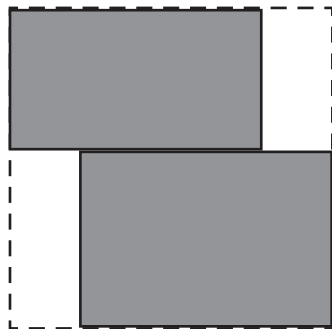
60% allowed for 4th floor

30% allowed for 5th floor

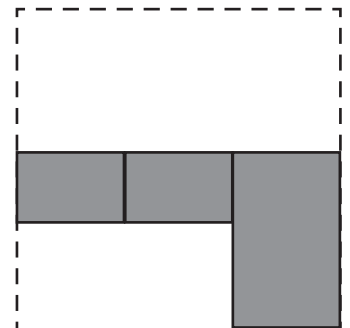
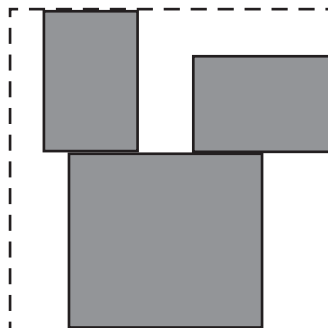
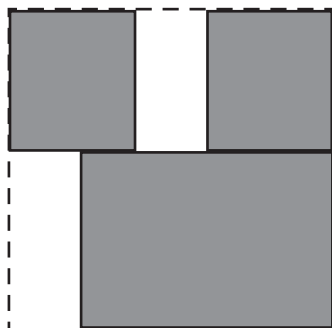
Single Volume



Individual volumes



Multiple volumes



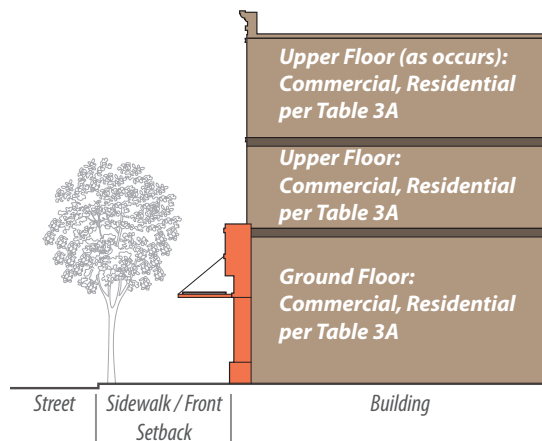
.050 11.60.050(3)B - HYBRID COURT

1. Description and Intent:

A building that combines the lower intensity courtyard housing type (walkup access) with the more intense flex-block type (common or point access) around shared open space for locations such as busy streets adjacent to small scale neighborhoods. This type may be occupied by retail, service, office, residential and/or live-work uses on the ground floor, with upper floors also configured for those uses or strictly for one use such as housing. As this type combines two ends of the intensity spectrum, it is limited to 5 stories to maintain compatibility between the walkup and point-access components as well as livability for its tenants.

1a. Residential Density:

The Hybrid Court type ranges from 30 to 60 dwellings per acre depending upon the actual number of stories, and size of dwelling units.

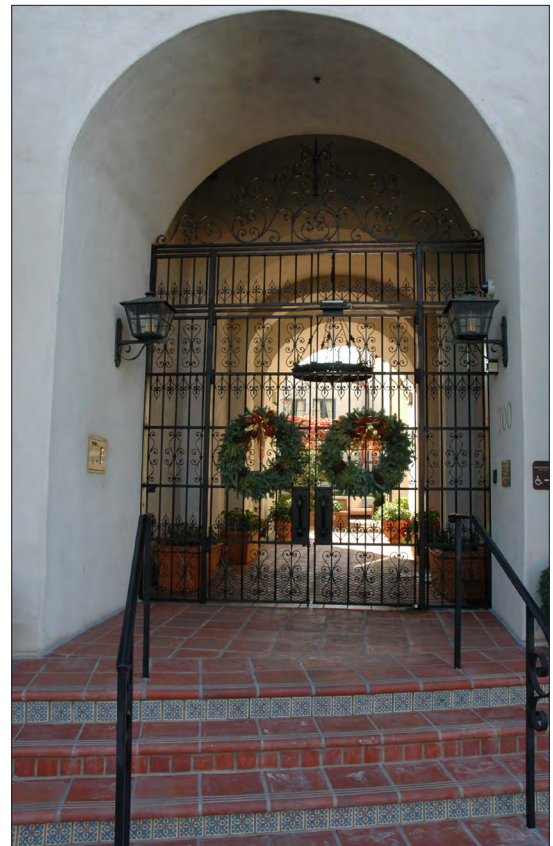


While the main facade in this example contains most of the density, the rear of the lot is the 'walk-up' portion with much smaller volumes. note: the parking lot at left is not associated with the example.

EXAMPLES: HYBRID COURT



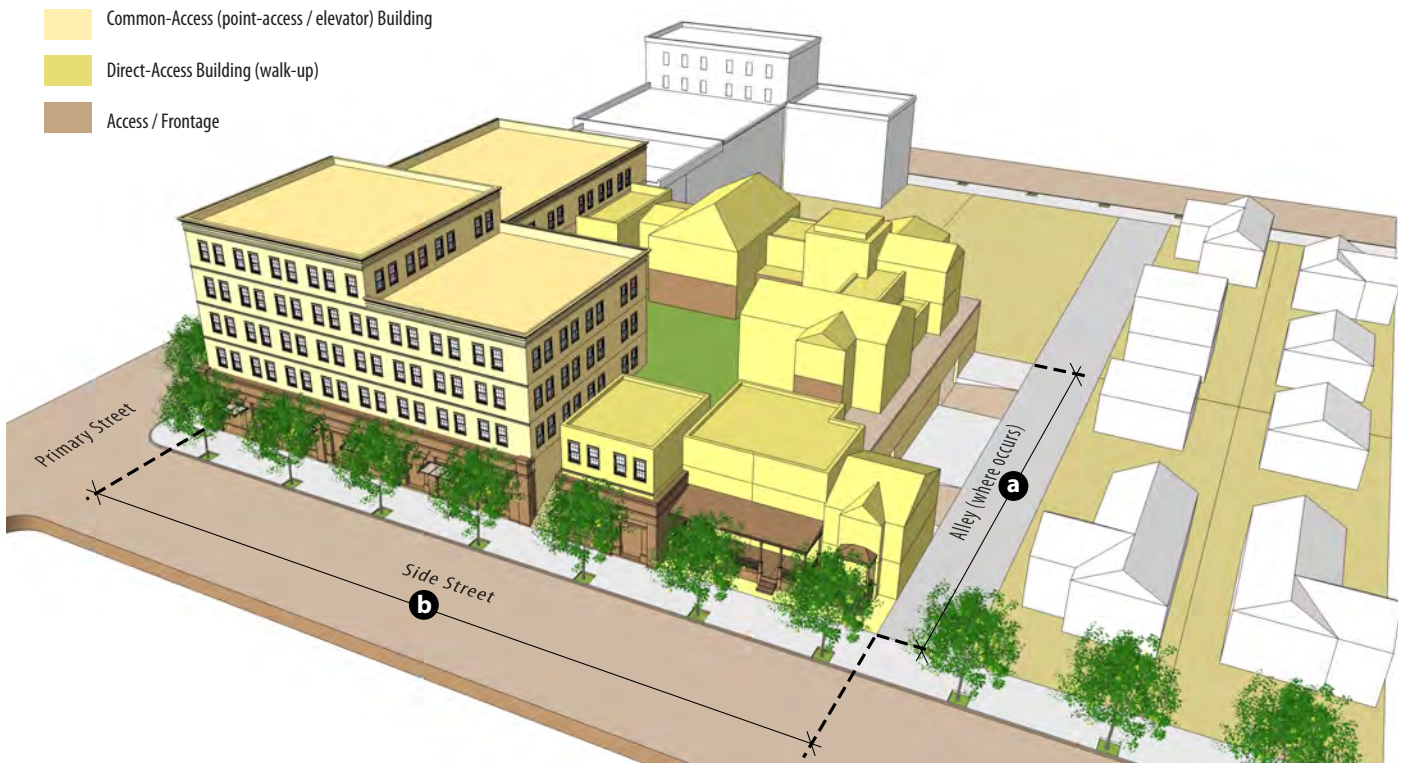
Main facade along busy corridor with entries to ground floor units raised and setback from sidewalk.



In addition to individual entries to units facing the street, interior units are accessed through a zaguan, providing security and natural ventilation.

The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Hybrid Court building type. Individual designs may vary provided that they are in compliance with the applicable standards.

ILLUSTRATIVE EXAMPLE OF THE HYBRID COURT BUILDING TYPE



2. Lot and Access Standards.

A Hybrid court building shall be located on a lot per the following standards, applicable.

Lot Standards			
		Min (ft)	Max (ft)
Width: new lot	a	150	250
	existing lot	125	250
Depth: new lot	b	140	250
	existing lot	120	250

- a. The main entrance to each ground floor dwelling or commercial suite fronting a street or public open space shall be directly from the street or public open space. For suites or dwellings that front on the street and have frontage on the shared courtyard, their primary entrance shall be from the street.
- b. Commercial suites or dwellings fronting a court shall take their primary access from the shared courtyard.

3. Parking Standards

- a. Required parking may be accommodated in either a surface parking configuration at the rear of the lot, in a podium or subterranean garage, of which no more than 1 level can be above grade, or a combination of the surface parking and garage.
- b. Dwellings and commercial suites may have direct access to their parking stall(s).

*Above:
Illustrative Diagram of Hybrid Court Building Type
(see section 4 'Variations' for examples of Hybrid Court being applied to various sites).*

The above massing has not been articulated in order to focus on the building's relationship to the site and street frontage.

Individual designs are allowed to vary provided that the intent of the applicable zone is maintained and all applicable requirements are followed.

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4. Variations.

The following are examples of the flex block building type applied to typical sites in the zones subject to this code. Other variations are possible provided that the design complies with the applicable requirements of this code.

Key

- Building Footprint
- Required Frontage/Access (see 11.60.050.7 'Frontage Standards')
- Parking (surface or podium/subterranean)
- Vehicular access to lot

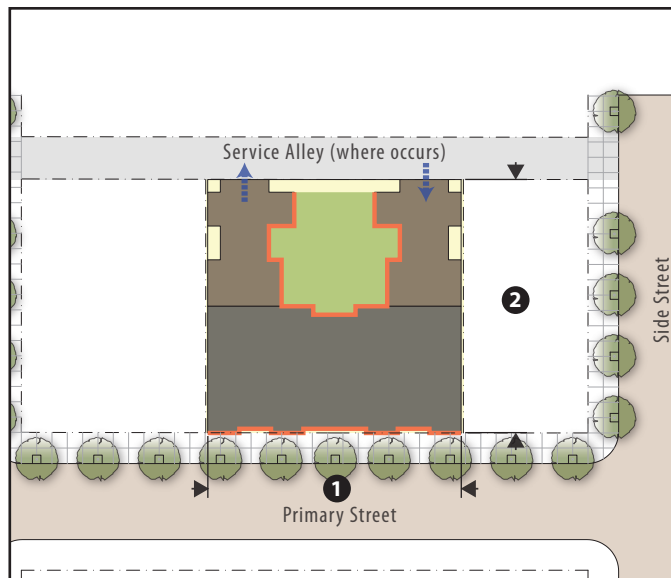
A. Small Lot (140 ft. min depth).

This scenario adapts to the smallest lot possible for this building type. The walk-up portion of the building is located at the rear, near existing neighborhoods while the common access portion is located along the front or busy street. In this small scenario, podium or subterranean parking is necessary.



Above: Example of podium parking serving hybrid court building.

Below: Plan-view of above example.



VARIATIONS OF THE HYBRID COURT BUILDING TYPE

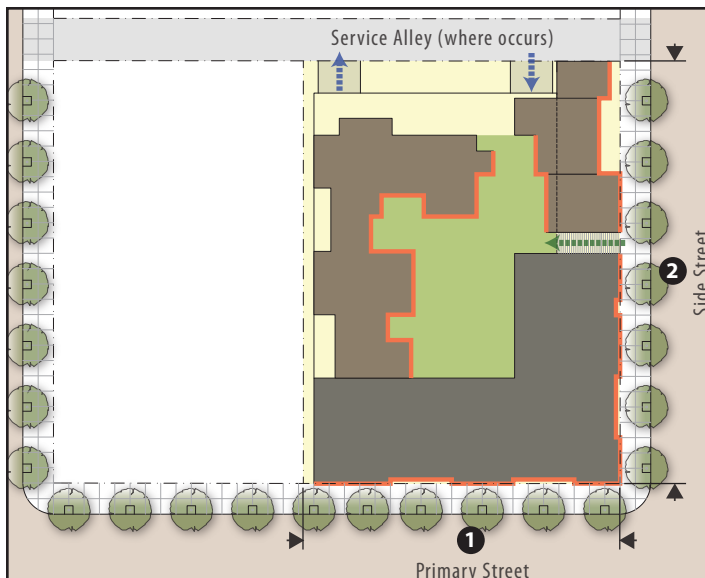
B. Large Lot (250 ft. max depth).

This scenario locates one walk-up portion of the building along the street in addition to a walk-up portion along the rear next to existing neighborhoods, while pairing the front walk-up building along the street with a common access building. Such a configuration allows the house-scale buildings to be more compatible with smaller neighbors across an alley, along the interior side yard or at a corner while locating the more intense common access building away from those smaller neighbors.



Above: Example of podium/subterranean parking serving hybrid court building.

Below: Plan-view of above example.



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5. Open Space Standards

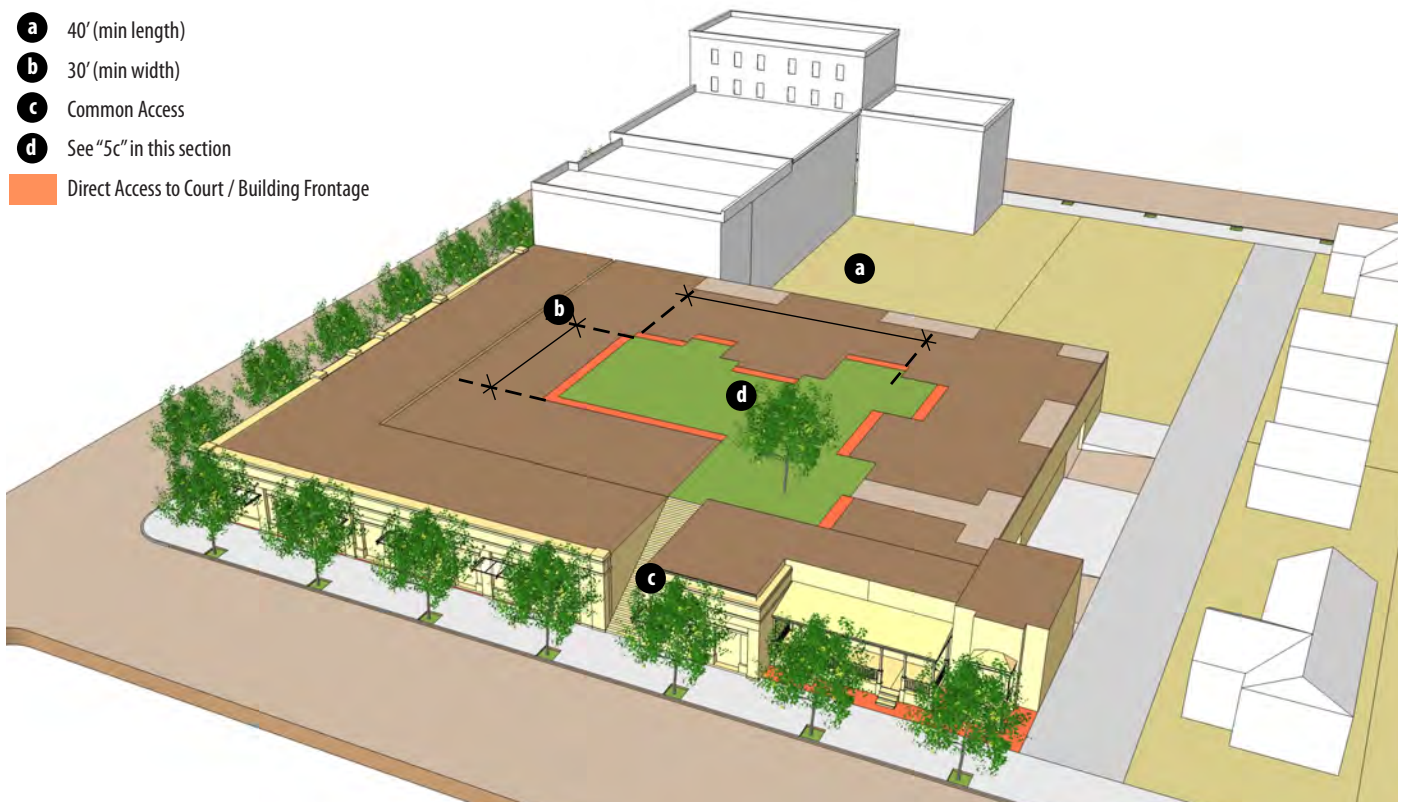
- a. At least one courtyard shall be provided. The courtyard may be located at grade or on a podium up to 2 stories from the adjacent street or public space.
- b. Each courtyard shall be at least 40 feet in length when the long axis of the courtyard is oriented East-West and 30 feet in length for a North-South orientation.
- c. Courtyard proportions shall be at least 1:1 between the width and height of the courtyard for at least 2/3 of the court's perimeter.
- d. Encroachments into a courtyard such as porches, arcades, balconies and other architectural projections are allowed up to a cumulative 1/4 of the courtyard's width and a cumulative 1/4 of the courtyard's length.
- e. Private patios may only be provided at side yards and rear yards.

6. Landscape Standards

- a. Landscape shall not obscure front yards or the store front of any ground floor flex space, but may define a semi-private dooryard space for dwellings or live-work units.
- b. Courtyards shall be designed as shared outdoor rooms for use by the building's occupants and visitors.
- c. Each courtyard shall provide at least one tree, planted in the ground, subject to City approval of species.
- d. A patio may be formed at the ground floor of each dwelling or commercial suite if the patio is at least 10 feet in depth (measured from the entry to the side property line). If other open space is provided, it may be located on upper floors in the form of a podium courtyard.

REQUIRED OPEN SPACE

- a** 40' (min length)
- b** 30' (min width)
- c** Common Access
- d** See "5c" in this section
- Direct Access to Court / Building Frontage



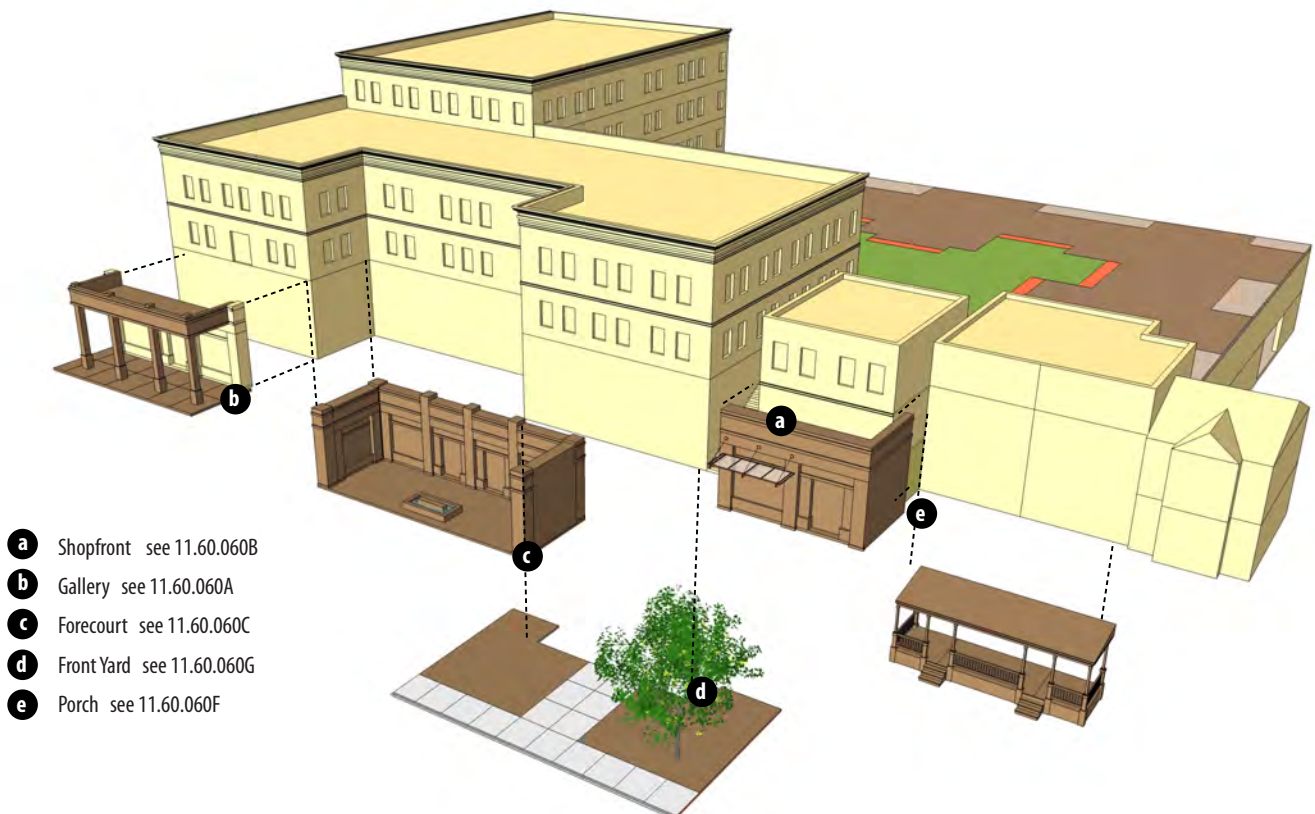
7. Frontage Standards

- a. Ground floor dwellings and/or commercial suites along any public frontage or public space shall have their entrance doors oriented toward the adjacent street or public space. Service rooms shall be oriented to sideyards, service yards, rear yards and internal corridors..
- b. Stoops up to 3 feet in height and dooryards up to 2 feet in height may be placed within the courtyard consistent with subsection 5 (Open Space) of this chapter.
- c. All required frontages shall comply with the applicable requirements of 11.60.060 'Frontage Types'

*Below:
The range of frontage types allowed on the Hybrid Court building type is illustrated to show the variety of responses that can be made where the building meets the streetscape or public open space.*

See 11.60.060 'Frontage Types' for individual requirements of each allowed frontage type.

ALLOWED FRONTAGE TYPES



- a** Shopfront see 11.60.060B
- b** Gallery see 11.60.060A
- c** Forecourt see 11.60.060C
- d** Front Yard see 11.60.060G
- e** Porch see 11.60.060F

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8. Building Size, Massing, and Parking Standards

i. Building Size and Massing

- a. The overall form and volume of the building shall shape the adjacent streetscape with a streetwall of up to 4 stories with smaller volumes above to transition to adjacent development.
- b. Buildings may be composed by any combination of flats, townhouses and lofts. At least 65% of exterior corridors shall be incorporated into the mass of the building.
- c. Commercial suites and dwellings shall have at least one side exposed to outdoors with direct access to a courtyard, patio, terrace or balcony.
- d. The maximum allowed volume, per floor, is identified in the table below. The identified ratio for each story is allowed to be combined or distributed, by story, as allowed by the applicable zone and deemed appropriate by their particular design, subject to City approval:

Allowed Massing by Story					
Ratio of Each Story in % of Ground Floor					
Story	ground floor	2	3	4	5
%	100	100	80	60	40

*Right:
Example of applying the allowed building area per floor showing how the floor area may be combined, articulated into individual volumes of varying or equal size, or further articulated into multiple volumes of varying or equal size.*

The resulting design is subject to the requirements of this code.

9. Accessory Dwellings

not allowed

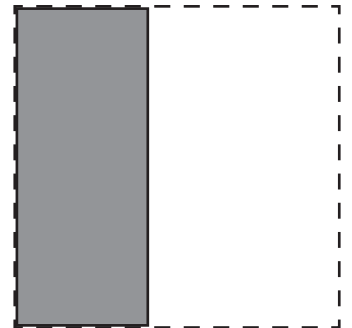
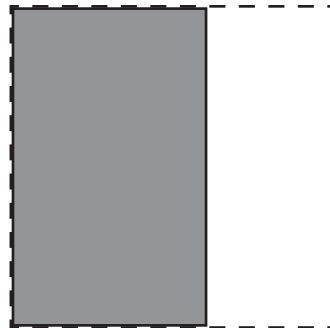
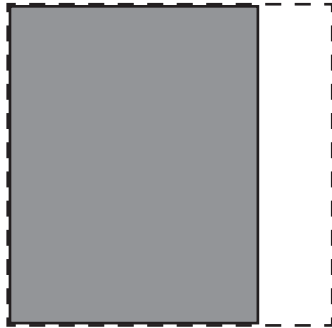
EXAMPLE OF APPLYING MASSING STANDARDS

80% allowed for 3rd floor

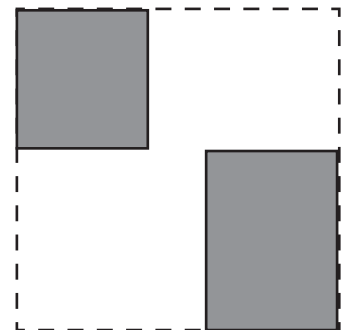
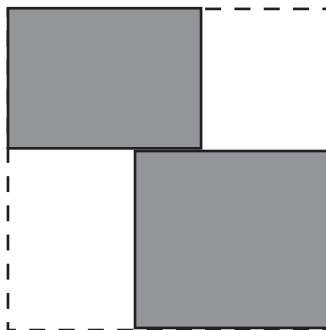
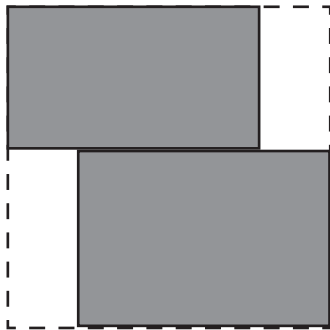
60% allowed for 4th floor

40% allowed for 5th floor

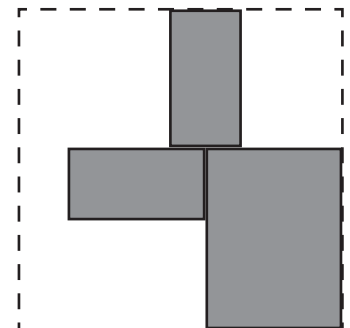
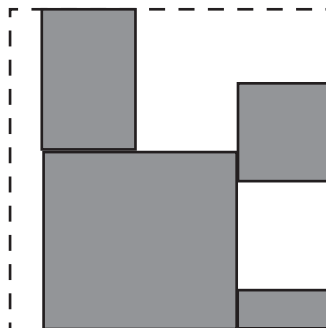
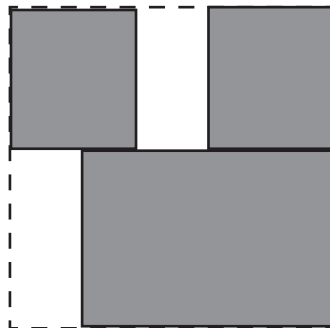
Single Volume



Individual volumes



Multiple volumes



.060 Frontage Types






11.60.060(1) ALLOWED FRONTAGE TYPES AND STANDARDS

Purpose.

This chapter identifies the frontage types allowed within the zones subject to this Code, and provides design standards for each type which are consistent with the City’s goals for building form, character, and quality.

Applicability.

Each building shall be designed in compliance with the standards of this chapter for the applicable frontage type, with the exception of civic and institutional buildings, which are not required to comply with these standards, but are instead subject to the City’s Site Plan Review process, as described in section 11.60.010e.

TABLE 11.60.060(A) ALLOWED FRONTAGE TYPES BY ZONE						
Frontage Type		Zone				
		CIV	TV	CDR-1	CDR-2	UN-1
A. Gallery Type		allowed	---	allowed	---	---
B. Shopfront Type		allowed	allowed	allowed	allowed	allowed
C. Forecourt Type		allowed	allowed	allowed	allowed	allowed
D. Stoop Type (reserved)						
E. Terrace Type (reserved)						
F. Porch Type		---	allowed	---	allowed	allowed
G. Front Yard Type		allowed	allowed	allowed [1]	allowed [1]	allowed

[1] allowed when associated with a residential or civic building

11.60.060(2) GENERAL REQUIREMENTS FOR FRONTAGE TYPES

1. Each building shall incorporate only the frontage types allowed in Table 11.60.060(A) for the zone applicable to the site.
2. Each building shall incorporate an allowed frontage wherever the lot's boundary is adjacent to a public right-of-way or an open space such as a plaza, park or paseo.
3. Unless specified otherwise, a frontage type shall be applied for a lot's entire primary frontage and for at least 50% of the side street frontage of a corner lot.
4. Ground floor windows shall not be opaque or tinted.
5. Storefront openings shall be at least 10 feet tall as measured from the adjacent sidewalk and shall comprise at least 65% of the ground floor wall area for each adjacent sidewalk or public space.
6. Storefront windows shall provide clear views of merchandise displays within the shop space and/or maintained and lighted merchandise display(s).
7. Awnings, signs, etc, shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of within 2 feet of the curb.
8. Awnings shall only cover the openings that they are shading.
9. The term "clear" means that the identified area is free of encroachments other than signs, light fixtures, etc., in compliance with this Code.
10. As allowed by this chapter, frontage types may be combined subject to the review and approval of the Community Development Director.

11.60.060(3) SPECIFIC REQUIREMENTS FOR FRONTAGE TYPES

The standards on the following pages are for each of the allowed frontage types as identified in Table 11.60.060(A).

.060**11.60.060(3)A GALLERY TYPE****Description and Intent:**

A gallery is a roof or deck projecting from the façade of a building, supported by columns located behind the curb of the street that is typically combined with other frontage types such as Front Yard, Shopfront or Forecourt. Galleries shelter the sidewalk and may be up to three stories in height, if the decks at the second and third floors are unenclosed.

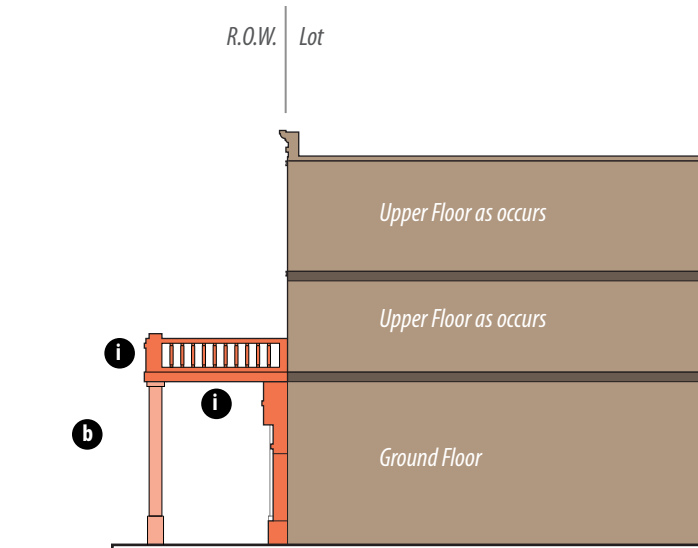
A variety of gallery designs are possible, subject to the City approval, per the following and as further described in the diagrams below:

- a. The height and proportions of the gallery shall correspond to the facade and be consistent with the architectural style of the building.
- b. Min 8 feet wide and 12 feet tall. Soffits, columns/arches shall be treated consistent with the architecture of the building. **b**
- c. A gallery shall correspond to the openings along the facade(s) to which the gallery is being applied.
- d. Where storefront openings are present, spacing between openings along the right-of-way shall be between 8 and 30 feet in relation to the storefront(s) and the height of the ground floor. **d**
- e. Where storefront openings are to be used, the Shopfront frontage type requirements (11.60.060(3)B) shall be applied.
- f. The columns supporting the gallery shall be at least 2 feet and no more than 4 feet from an adjacent curb (except at curb extensions for intersections in which case the gallery shall continue in parallel to the right-of-way). **f**
- g. Street trees and awnings are not allowed with the gallery frontage type. **g**
- h. Street lights are allowed on the face of the gallery columns provided that a minimum clearance of 2 feet exists between the light fixture and any adjacent curb face. **h**
- i. Signage may be applied to the gallery per the requirements of the South Gate municipal code. **i**
- j. This type is subject to the granting of an encroachment permit by the City of South Gate.

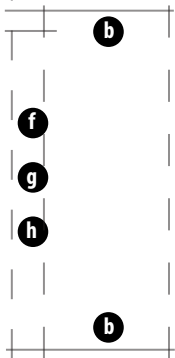
EXAMPLES: GALLERY TYPE

The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Gallery frontage type. Individual designs may vary provided that they are in compliance with the applicable standards.

GALLERY TYPE

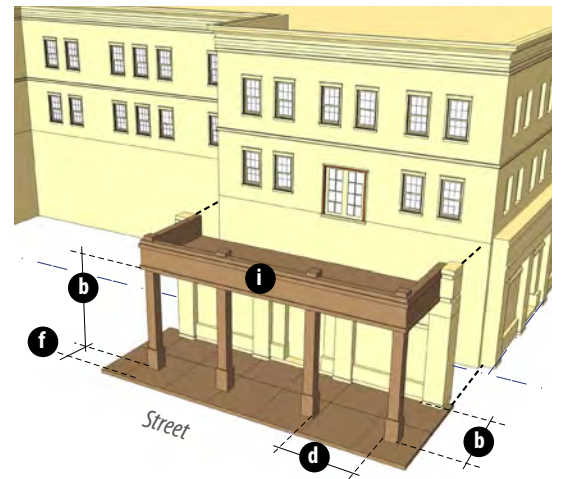


Street Sidewalk

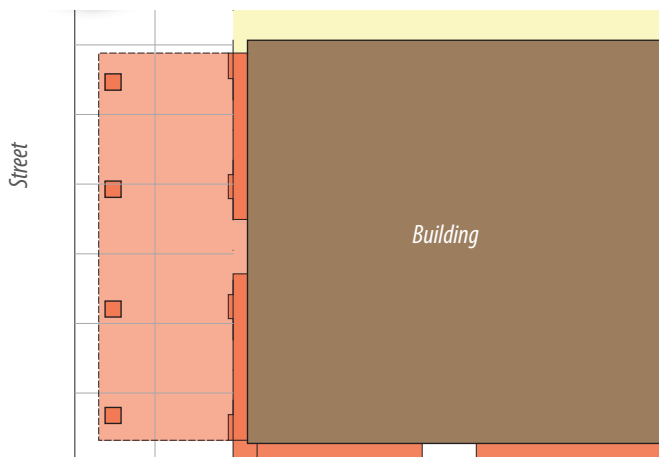


Above:
Section Diagram

Below:
Plan Diagram



Above:
Axonometric Diagram



.060**11.60.060(3)B SHOPFRONT TYPE****Description and Intent:**

Shopfronts are large glazed openings in a façade, filled with doors and transparent glass in a storefront assembly and may be combined with the Gallery and Forecourt frontage types. This traditional retail frontage type is often provided with canopies or awnings, which may be fixed or retractable, to shelter pedestrians and shade the storefront glass from glare. The storefront assembly may be recessed to provide a widened sidewalk or a covered area for outdoor dining.

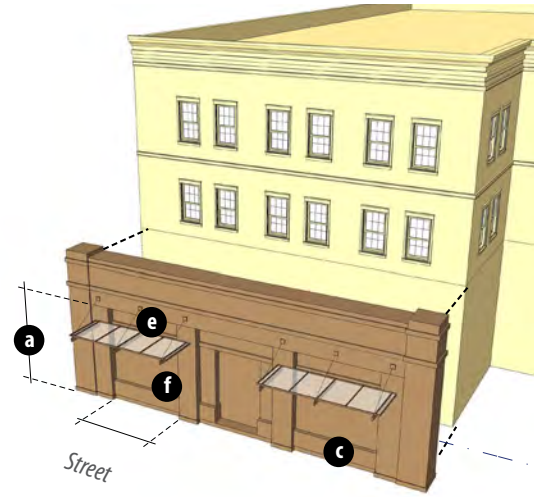
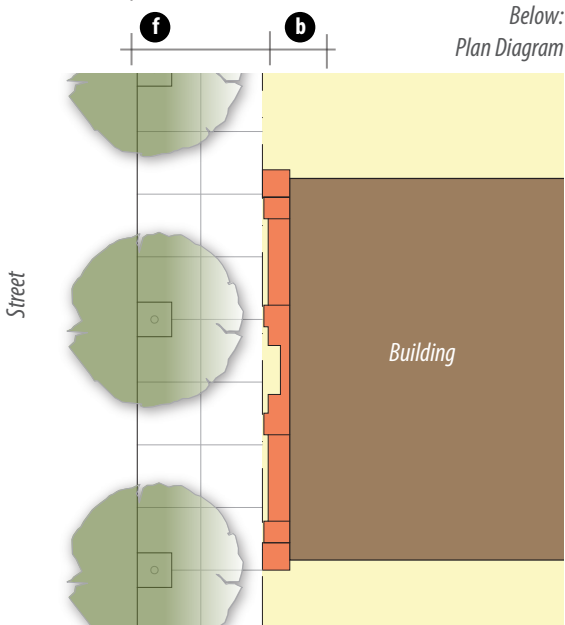
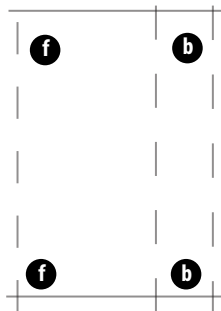
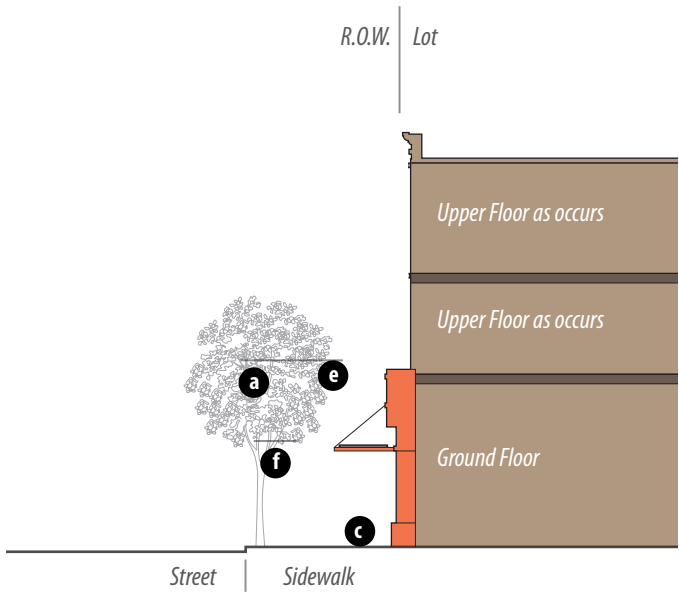
A variety of shopfront designs are possible, subject to City approval, per the following and as further described in the diagrams:

- a. Storefront openings shall be at least 10 feet tall, as measured from the adjacent sidewalk or public space and comprise at least 65% of the ground floor wall area for each adjacent sidewalk or public space. **a**
- b. Storefronts within the overall facade may be recessed from any frontage line by up to 10 feet. **b**
- c. A physical transition shall be provided between the glazing of the storefront and the sidewalk grade, except if the glazing itself terminates directly at the grade, in compliance with all applicable requirements. Where a bulkhead is to transition between the opening(s) and the adjacent grade, the bulkhead shall be between 10 inches and 36 inches tall (aluminum storefront or spandrel panel may not substitute for a bulkhead). **c**
- d. Storefront windows shall provide clear views of merchandise displays within the shop space and/or maintained and lighted merchandise display(s) within a display zone of approximately four feet in depth from the glass.
- e. Where transoms are present, awnings shall be located between the transom and the window below to allow light to enter the building while shading the view of the window for the pedestrian. **e**
- f. Awnings, signs, etc, shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to within 2 feet of any adjacent curb. **f**
- g. Signage may be applied to the shopfront per the requirements of the South Gate municipal code.
- h. Awnings shall only cover individual storefronts and openings.

EXAMPLES: SHOPFRONT TYPE

The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Shopfront frontage type. Individual designs may vary provided that they are in compliance with the applicable standards.

SHOPFRONT TYPE



Above:
Axonometric Diagram

.060**11.60.060(3)C FORECOURT TYPE****Description and Intent:**

A Forecourt is a public space formed by a substantial recess in the façade of a building and may be combined with the Gallery and Shopfront frontage types. Forecourts are generally appropriate for commercial or civic use, or in some cases for vehicular drop-off at a civic building or hotel, as distinct from courtyards that are semi-public or private spaces providing frontages of a generally residential character.

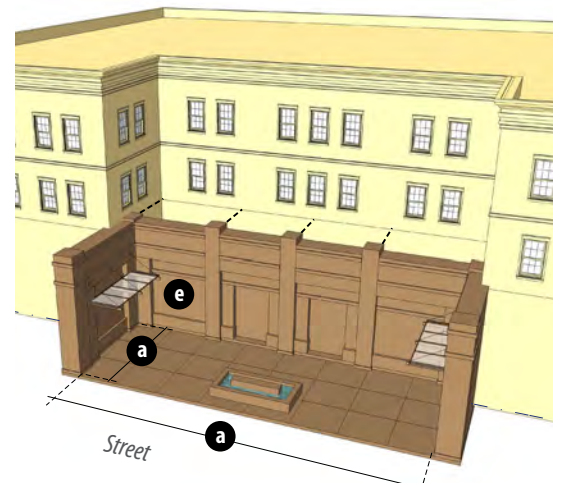
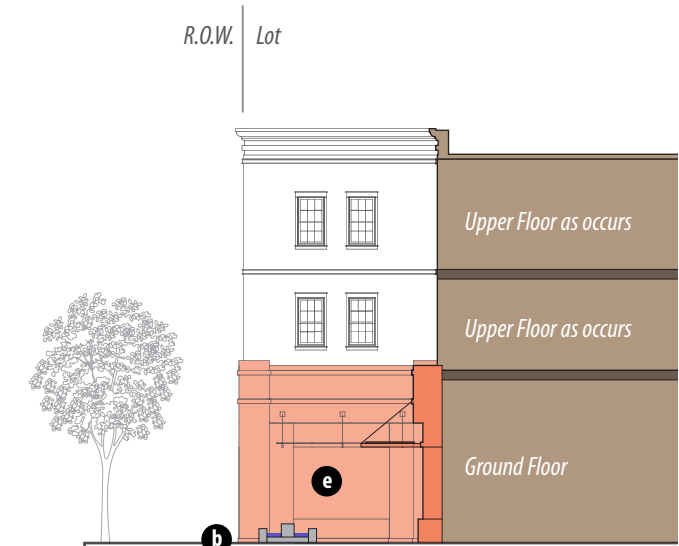
A variety of forecourt designs are possible, subject to the City approval, per the following and as further described in the diagrams below:

- a. Forecourts shall be between 15 and 100 feet wide along the adjacent sidewalk or public space and between 15 and 100 feet in depth as measured from the adjacent public sidewalk or open space. **a**
- b. The forecourt may be raised up to 3 feet from the adjacent sidewalk or public space, creating a small retaining wall at the property line, in compliance with ADA requirements, with entry steps to the forecourt **b**
- c. Where the forecourt is at least 40 feet in depth, the forecourt may be terraced from the adjacent public sidewalk or open space and in compliance with ADA requirements.
- d. Where the forecourt is providing vehicular access into the lot, street and access requirements apply.
- e. Where storefront openings are present, the Shopfront frontage type requirements (11.60.060(3)B) shall be applied. **e**
- f. Encroachments within the forecourt, are allowed up to a cumulative 1/3 the width and a cumulative 1/3 depth of the forecourt. **f**

The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Forecourt frontage type. Individual designs may vary provided that they are in compliance with the applicable standards.

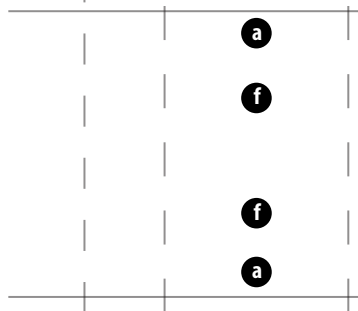
EXAMPLES: FORECOURT TYPE

FORECOURT TYPE

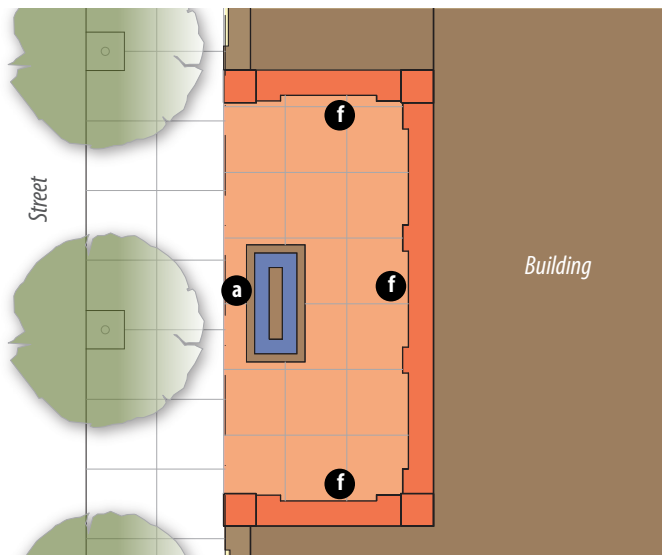


Above:
Section Diagram

Above:
Axonometric Diagram



Below:
Plan Diagram



.060**11.60.060(3)D PORCH TYPE****Description and Intent:**

Porches are covered spaces set back from the frontage line with a front yard between the sidewalk and the porch raised, or at grade, that provide a physical transition from the sidewalk to the building. A fence or wall at the property line may be used to define the private space of the yard. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.

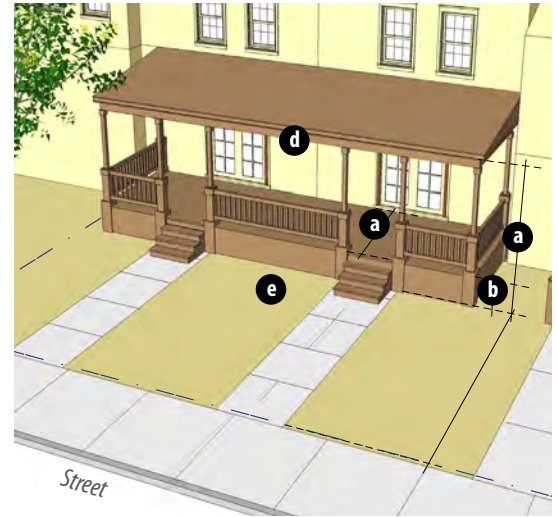
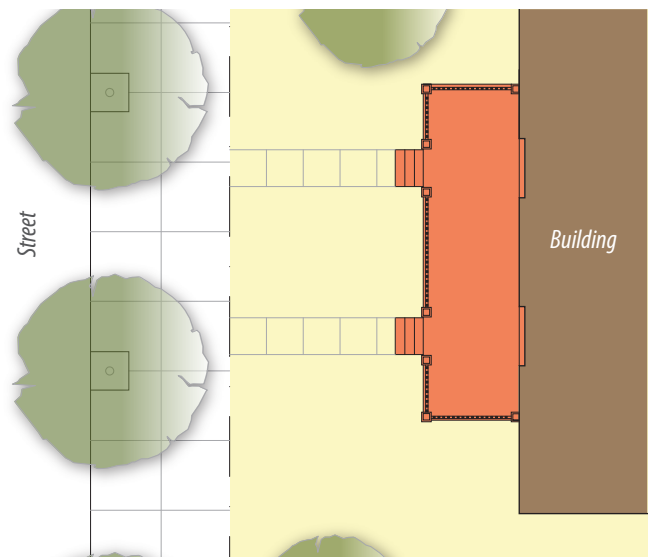
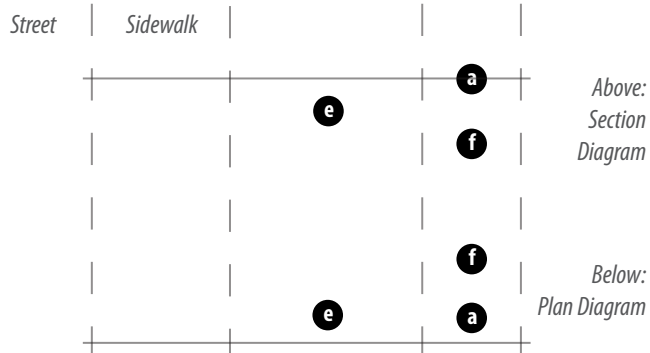
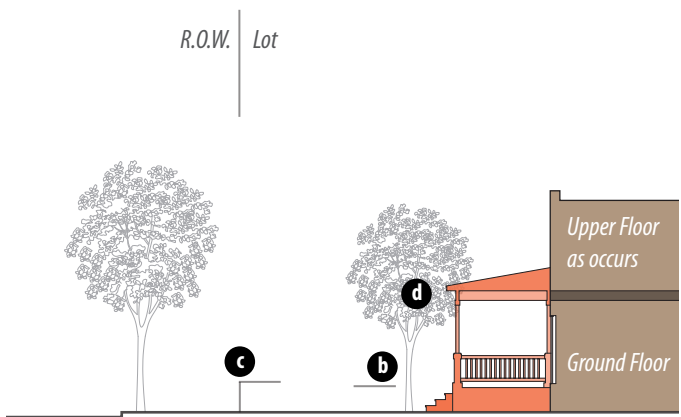
A variety of porch designs are possible, subject to City approval, per the following and as further described in the diagrams below:

- a. Porches shall be at least 10 feet in height, 7 feet in depth and 12 feet in width. **(a)**
- b. Porches may be at grade or raised up to 3 feet from the adjacent grade to transition into the building. **(b)**
- c. Fences or walls defining and/or retaining the front yard shall not exceed 3 feet in height from the adjacent sidewalk. **(c)**
- d. Signage may be applied to the porch per the requirements of the South Gate municipal code. **(d)**
- e. Porches may encroach into the front setback as specified in chapter 11.60.040, Urban Standards, for the applicable zone. **(e)**

The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Porch frontage type. Individual designs may vary provided that they are in compliance with the applicable standards.

EXAMPLES: PORCH TYPE

PORCH TYPE



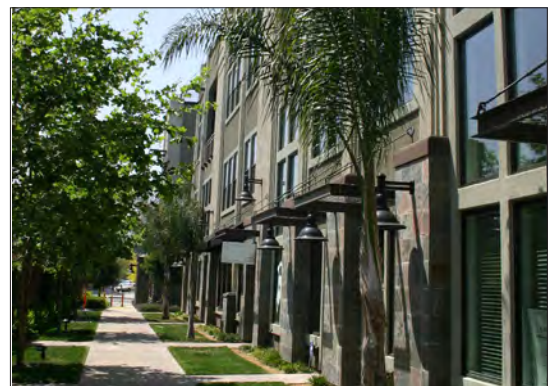
Above:
Axonometric Diagram

.060**11.60.060(3)E FRONT YARD TYPE**

Description and Intent: Front Yards are distinct from the Porch and Fence frontage type in that the Front Yard type is intended as a large buffer and area free of major building encroachments created by substantially setting back the building facades from the frontage line. Front Yards are intended to be visually continuous with adjacent yards, supporting a common landscape but may be fenced.

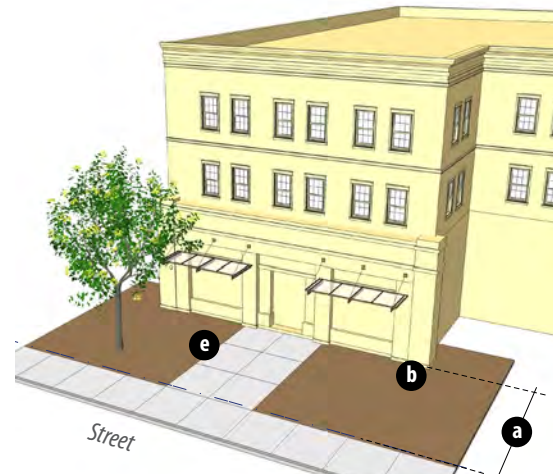
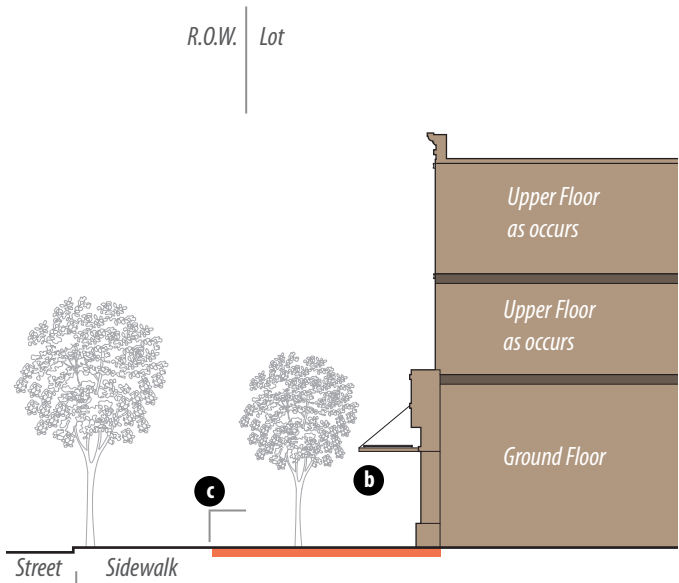
A variety of front yard designs are possible, subject to City approval, per the following and as further described in the diagrams below:

- a. The size of front yards shall be determined by the required front yard setback of the applicable zone. **a**
- b. Awnings, balconies and Porches or stairs that provide access to buildings may encroach into the front yard for a maximum of 20% of the required setback. **b**
- c. Fences may not exceed 5 feet in height and are subject to the City's approval. **c**
- d. Encroachments into the front setback are allowed as specified in chapter 11.60.040, Urban Standards, for the applicable zone. **d**
- e. In response to the intended physical context of the applicable zone, front yards may be designed as primarily landscape or primarily hardscape with landscape in containers or planters. **e**

EXAMPLES: FRONT YARD TYPE

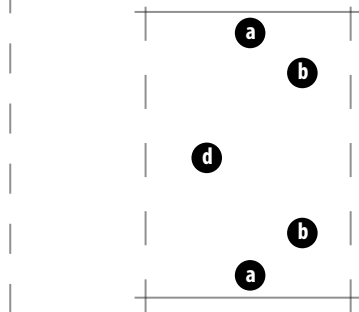
The above examples are not intended to be interpreted literally. The above examples represent the general range of scale, configuration and streetscape typically associated with the Front Yard frontage type. Individual designs may vary provided that they are in compliance with the applicable standards.

FRONT YARD TYPE

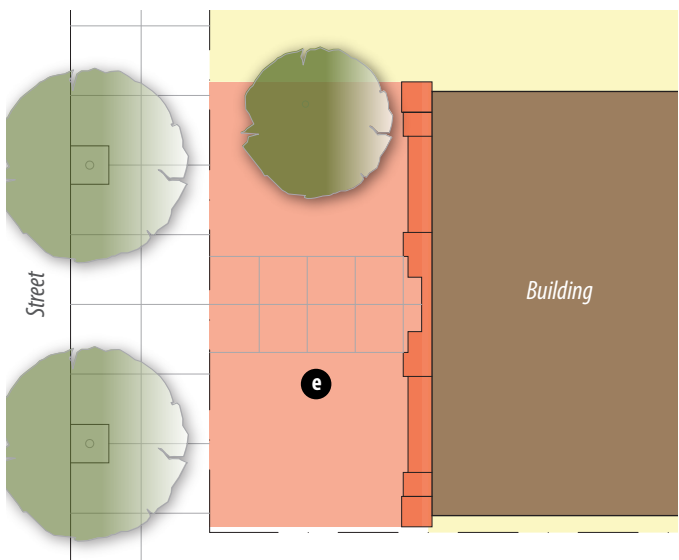


Above:
Section Diagram

Above:
Axonometric Diagram



Below:
Plan Diagram



.080 Block and Street Standards

11.60.080(1) APPLICABILITY OF BLOCK AND STREET STANDARDS

The requirements of this chapter apply when any of the following occur or exist:

1. Site or lot is 5 acres in size;
2. An existing lot combined with 1 or more lots exceeds 1.45 acres in size;
3. An existing block or lot are being modified as to size or area.

11.60.080(2) PEDESTRIAN-ORIENTED/HUMAN-SCALED BUILDING DESIGN

Each new or modified block shall facilitate pedestrian-oriented or 'human-scaled' building design to generate buildings that incrementally shape a streetscape and overall physical environment supportive of pedestrian activity. The following requirements apply:

1. Blocks shall be created per the requirements in Table 11.60.080(A) - Block Requirements - by applying the allowed street types in Table 11.60.080(C) - Street Requirements;
2. Blocks shall be subdivided to generate lots, using the lot requirements of the allowed building types for the zone(s);
3. A lot shall accommodate no more than one building, except for detached garages or carriage houses;
4. Lot boundaries may remain as a legal, subdivided piece of land or, the lot boundaries may be used only for the purpose of complying with this Code.
5. Buildings shall be designed in compliance with the following and all other applicable requirements:
 - a. Each lot shall be occupied by an allowed building type and designed per the requirements of Chapter 11.60.050 (Building Types);
 - b. Each building may be subdivided vertically in response to ownership patterns in any number of configurations provided that the applicable requirements of condominium parcelization are met to the satisfaction of the City of South Gate;
 - c. Each building shall be designed to have a front facade and a back facade, with front facades facing streets and containing the primary building entrance and back facades facing interior side or rear lot boundaries. Corner lots shall be designed to have two front facades with one of the two containing the primary building entrance;

.080

11.60.080(3) BLOCK REQUIREMENTS

The requirements in Table 11.60.080(A) apply to new blocks or blocks proposed to be modified:

- 1. Blocks.** Blocks are either orthogonal (rectilinear) consisting of square or rectangular designs or, are trapezoidal and irregular in shape.
- 2. Streets / Rights-of-Way.** For the purposes of this chapter, all areas that are not occupied by a building (except arcades and galleries) are considered to be right-of-way and are subject to the requirements of this Code.
- 3. Lots.** Each building shall be designed to an individual lot as required in Table 11.60.050(A). Upon designing the building, the lot will have served its purpose for this Code and may either be considered a lot for design purposes and remain only on the approved site plan for the projector, the lot may be made permanent through the process for parcel or tract maps. In no event, may abuilding exceed the required lot size as identified in Table 11.60.050(A).

Lot width and depth shall be determined as described below:

- **LW** — Front (Lot Width): Principal Frontage
- **LD** •• Side (Lot Depth)
- **Lw** - Rear (Lot Width)

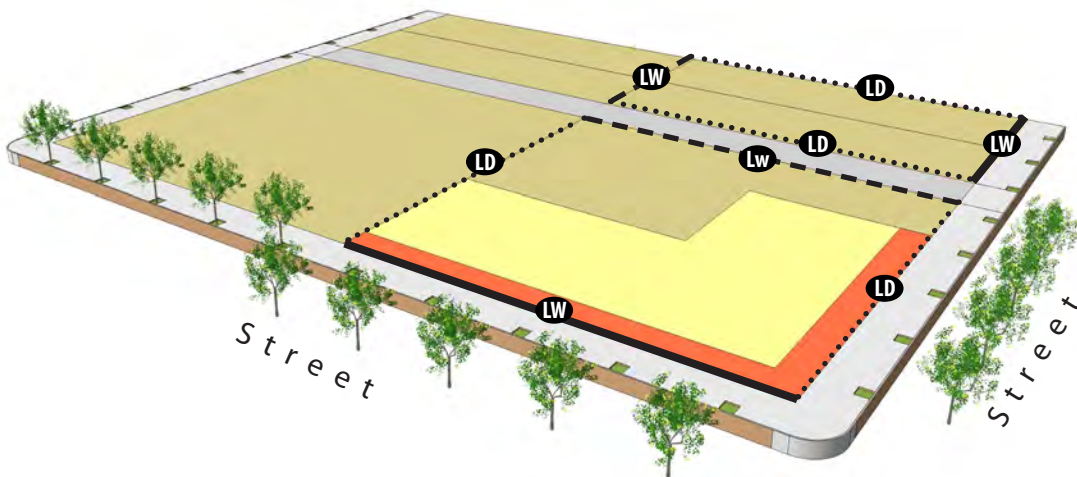
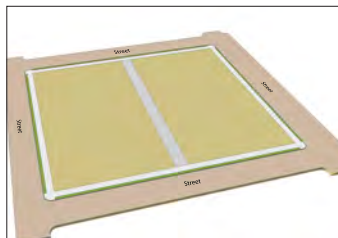


TABLE 11.60.080(A) BLOCK REQUIREMENTS				
Zone	LW Lot Width (along Primary Frontage)		LD Lot Width (along Secondary Frontage)	
	Min	Max	Min	Max
CIV	150	500	150	500
TV	150	400	150	400
CDR-1	200	500	200	500
CDR-2	200	500	200	500
UN-1	100	350	100	350

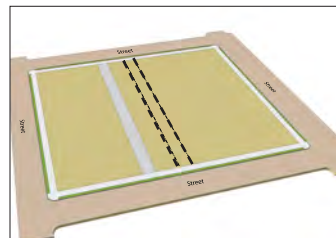
11.60.080(4) ACCESS REQUIREMENTS

After the initial subdivision of a site into blocks and lots, it may become necessary to adjust alley or other right-of-way access. In this case, the following shall apply:

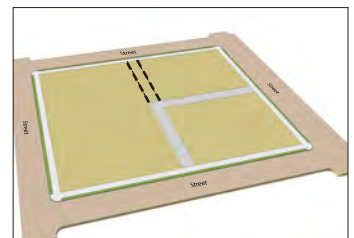
- 1. Realignment of right(s) of way.** Existing or approved rights-of-way may be realigned subject to City approval such that the resulting block and private property meet the requirements of this chapter and the applicable building type requirements (Table 11.60.050A).
- 2. Existing Alley-Access.** In all cases, blocks with alleys shall maintain such access. Existing or approved alley-access may be modified subject to City approval through realignment, (shift, deflection, etc.) provided the realigned alley results in at least 100 feet of net developable lot depth on both sides of the realigned alley.



Existing Alley



Existing Alley shifted



Existing Alley deflected

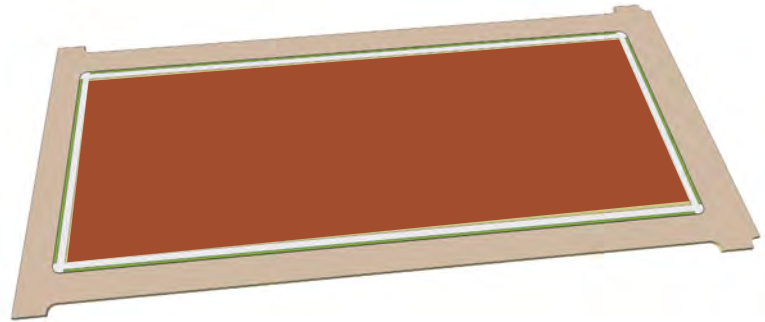
TABLE 11.60.080(B)

This information illustrates the intent of the block and street standards combined with the building type standards and provides direction on how to break down sites exceeding 5 acres into blocks with lots that receive pedestrian-scaled buildings.

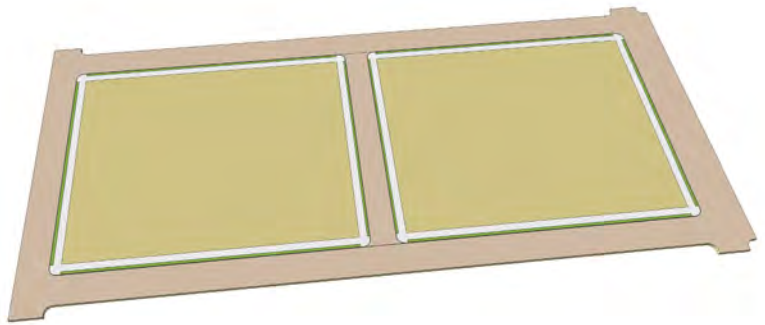
Step 1: Existing Site

Sites that are not already in compliance with Figure 11.60.020(A) (Regulating Plan) shall be subdivided further to create additional blocks per the requirements of Table 11.60.080(A). For sites already in compliance with Figure 11.60.020(A), the requirements to introduce streets and alleys do not apply.

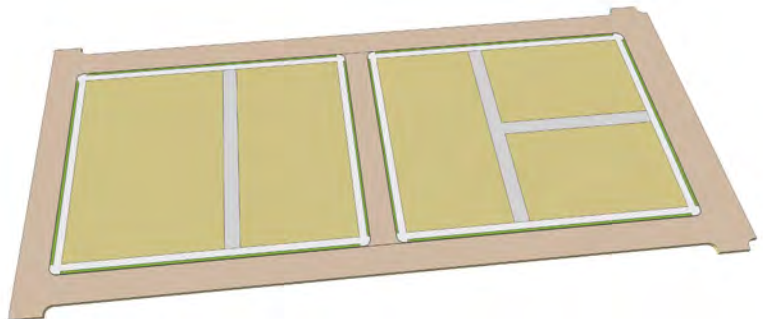
As the site is subdivided to generate additional blocks, the zone boundaries need to be adjusted to exclude rights-of-way and to correspond to the block(s) for which they are intended. The example at right shows one zone applying to the site.

**Step 2: Introduce Streets**

Sites being subdivided into additional blocks shall introduce streets per Table 11.60.080(C) and comply with the applicable block-size requirements of Table 11.60.080(A). Adjustments to the street network are allowed per chapter 11.60.080(4).

**Step 3: Introduce Alleys**

Access to blocks and their individual lots is allowed only by alley or, side street, except as otherwise allowed in each zone. The intent of limiting access to the rear or side of lots is to maintain the continuity of the streetscape without interruptions such as driveway access. Therefore, unless the lot(s) takes access via a side street or front access is allowed in the zone, the introduction of rear service alleys is required.

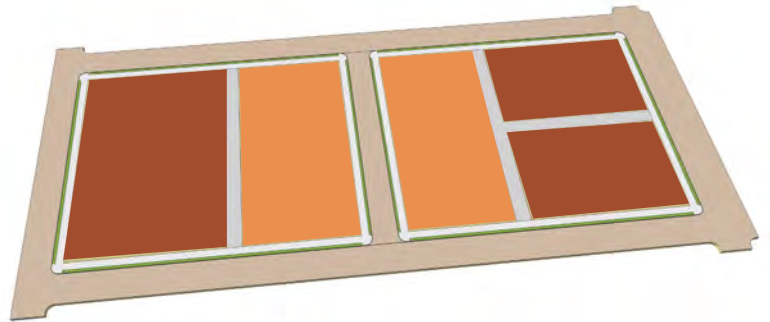


APPLYING STANDARDS TO ACHIEVE PEDESTRIAN/HUMAN-SCALED BUILDINGS

Step 4: Adjust Zones

Upon applying urban design to the site to generate the types of blocks for the proposed development, it may become desirable or necessary to adjust the existing zone boundaries. In such a case, the adjusted zone(s) or new zone(s) are to be applied to the new blocks.

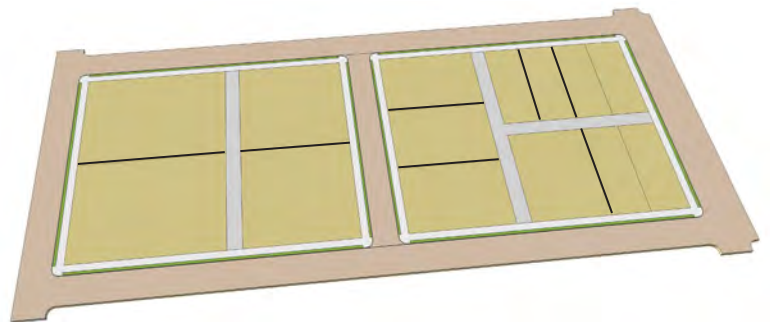
The example at right shows two zones: one that already was applied to the site and a second to allow for a different range of intensity and physical character.



Step 5: Introduce Lots

Lots are introduced on each block to correspond with the selected building type(s) allowed by each zone, and their particular requirements in Table 11.60.050(A).

These lots are for the purpose of design and reflect the minimum area needed to effectively design corresponding building types. The permanence of the lot lines is not required by these standards.



Step 6: Introduce Projects

Each lot is to receive no more than one building type. The building is then designed and arranged to suit the particular organization of buildings desired for the block.

Each building is then combined with one of the allowed frontage types along any public frontage (i.e., street, public open space, shared open space).



.080

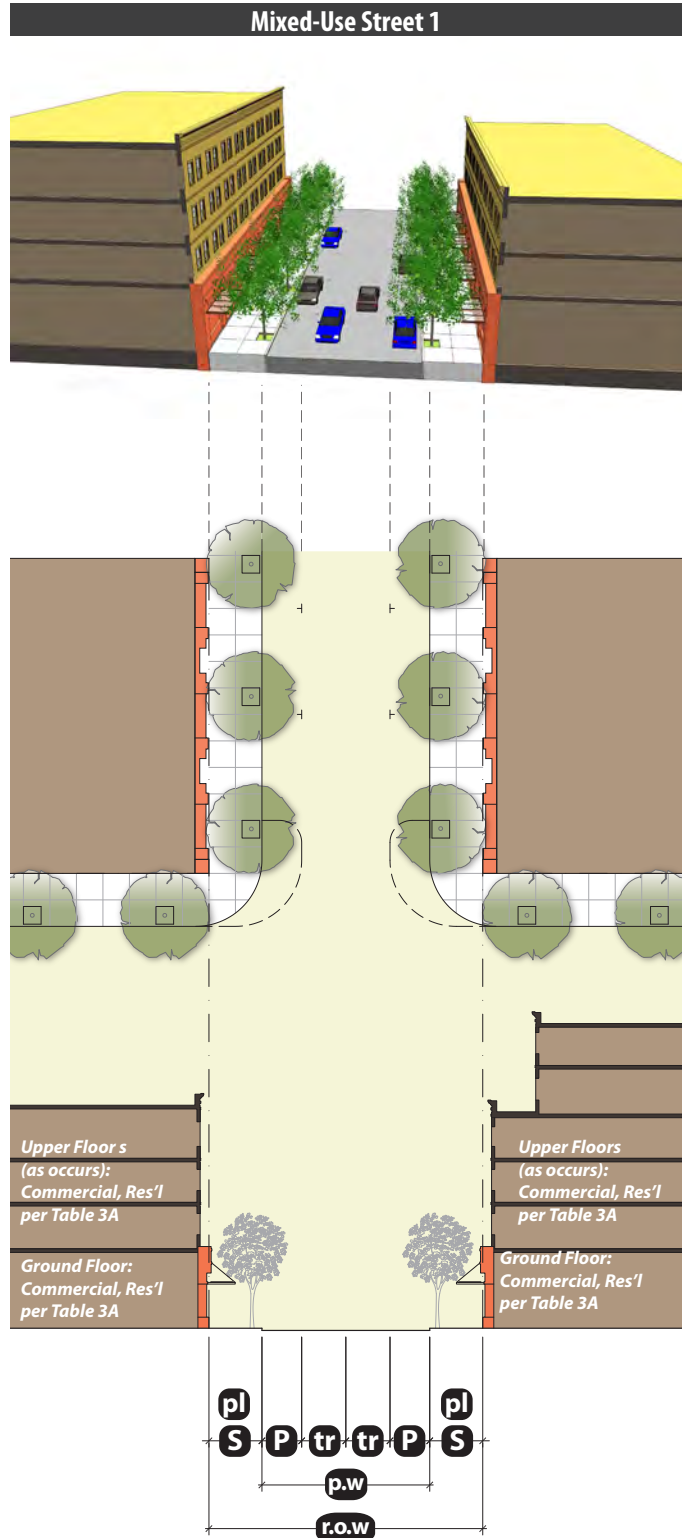
TABLE 11.60.080(C)

The following street standards apply to new blocks or to blocks being modified:

Type: Mixed-Use Street 1

Type: Mixed-Use Street 2

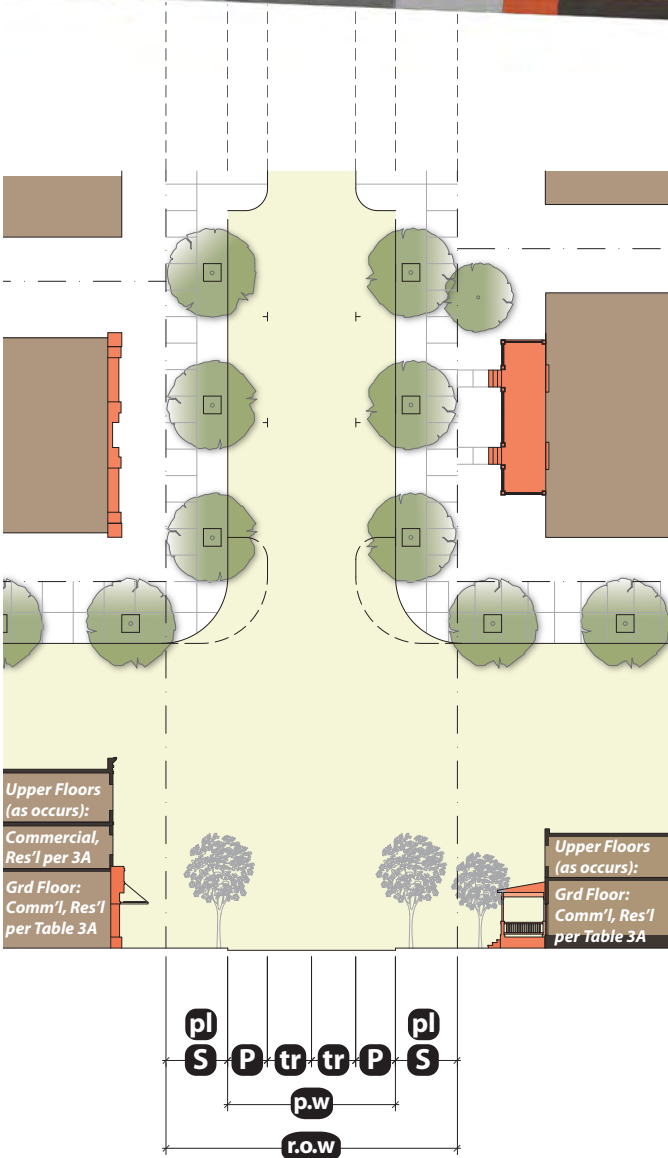
As new street types are needed and generated, those new types will be described in this chapter and included in Table 11.60.080(C).



Mixed-Use Street 1	
Component	Requirement
S Sidewalk	10' min
pl Planter	4'x4' tree wells at 30' spacing
P Parking	Parallel both sides max 9' wide
tr Travel lanes	2, 1-each direction min 10' max 12'
p.w Paved width	max 38'
r.o.w Right-of-Way	58' to 64'

STREET STANDARDS

Mixed-Use Street 2



Mixed-Use Street 2		
Component		Requirement
S	Sidewalk	14' min
pl	Planter	4'x4' tree wells at 30' spacing
P	Parking	Parallel both sides max 9' wide
tr	Travel lanes	2, 1-each direction max 10'
p.w	Paved width	max 38'
r.o.w	Right-of-Way	66' to 74'

.090 General Requirements

This chapter provides standards for particular elements of buildings/sites as well as certain operational standards to ensure a consistent and high level of quality in building design, materials, and operations. This chapter applies to all property subject to this Code, as applicable and at the discretion of the City of South Gate.

11.60.090(1) REQUIREMENTS

1. Alterations, restoration, rehabilitation, ordinary repair and maintenance.

See South Gate Municipal Code.

2. Demolition.

See South Gate Municipal Code chapter.

3. Building Entrances:

a. The primary entrance shall be distinguished by architectural features such as, but not limited to: an entry portal; change in material or color; change in scale of other openings; addition of columns, lintels or canopies.

b. Secondary entrances shall have architectural features that are smaller in height and width, with fewer or simpler architectural elements than the primary entrance in scale and detail.

4. Awnings and Canopies:

Awnings and/or canopies shall accentuate the character-defining features of a building as follows:

- i. Awnings and canopies shall be mounted to highlight architectural features such as moldings that may be found above the storefront.
- ii. Awnings and canopies shall match the shape of the opening that they are shading.
- iii. Odd shapes and bubble awnings are prohibited except where the shape of an opening requires a bubble awning, or a historic precedent shows they have been previously used on the building.
- iv. Canopies and awnings shall not conflict with the buildings' proportions or with the shape of the openings that the awning or canopy covers.
- v. Awnings and canopies may be constructed of metal, wood or fabric, subject to the approval of the Community Development Director.
- vi. Lights that illuminate the pedestrian way beneath the awning shall be reviewed by the Community Development Director to determine if they are appropriate for their context;
 - a. Lights may illuminate the storefront;
 - b. Internally illuminated awnings that glow are prohibited.

5. Site Walls (Streetscreen) and Fences:

- i. Site walls and fences shall not be erected in such a way as to block views of or from public spaces and are not allowed where a frontage is required per chapter 11.60.060.
- ii. Low walls (24 inches to 36 inches in height) may be used to divide space, create a variety in landscaping and to define site edges.
- iii. Screening elements shall be used to screen service areas, storage areas, or garbage areas from public view from the street or pedestrian ways.
- iv. Solid walls (up to 96 inches in height) are permitted to screen mechanical equipment, garbage receptacles, loading areas and other unsightly areas; and provide privacy at the back of lots and along side streets in compliance with the requirements for frontages (chapter 11.60.060).
- v. All chain link fences are prohibited except for dark vinyl coated chain link fences used in conjunction with landscape buffering and screened with plantings.

6. Lighting:

- i. Site lighting shall be shielded by permanent attachments to light fixtures so that the light sources are not visible from a public way and any offsite glare is prevented.
- ii. Site lighting shall include illumination of parking areas, buildings, pedestrian routes, dining areas, design features and public ways.
- iii. The position of a lamp along a sidewalk or other path being lighted shall not exceed 15 feet in height above the ground.
- iv. All flood lamps shall be shielded so that the light sources are not visible from a public way.
- v. Lighting (uplighting and downlighting) that is positioned to highlight a building or outdoor artwork shall be aimed at the object to be illuminated.
- vi. Lighting fixtures shall not distract from, or obscure important architectural features of the building. Lighting fixtures shall be a subordinate feature on the building unless they are incorporated into the over-all design scheme of the building.

7. Service areas and mechanical equipment:

- i. Service areas and mechanical equipment shall be visually unobtrusive and integrated with the design of the site and building.
- ii. Service entrances, waste disposal areas and other similar uses shall be located adjacent to alleys and away from the primary frontage of the lot.

- iii. Utility boxes shall be positioned to not be seen from the primary frontage of the lot by locating them on the sides of buildings and away from pedestrian and vehicular routes or by locating them within interior building corners, at building offsets or other similar locations where the building mass acts as a shield from public view.
- iv. Openings to a trash enclosure shall not face the primary frontage of the lot.
- v. Air intake and exhaust systems, or other mechanical equipment that generates noise, smoke or odors, shall not be located on or within 10 feet of the front facade (including side street facade).
- vi. Screening of service entrances shall be compatible with adjacent buildings.

8. Operational standards for nonresidential uses:

- i. All business activities shall be conducted and located within an enclosed building, except that the following business activities, as permitted in Table 11.60.030(A), may be conducted outside of an enclosed building:
 - 1. Plant nurseries
 - 2. Newsstands
 - 3. Flower Stands
 - 4. Recreational or entertainment uses
 - 5. Dining
 - 6. Retail/Service Kiosks
- ii. There shall be no manufacturing, processing, compounding, assembling or treatment of any material or product other than that which is clearly incidental to a particular retail enterprise, and where such goods are sold on the premises.
- iii. Storage of goods and supplies shall be limited to those allowed to be sold at retail on the premises or utilized in the course of business.
- iv. Any permitted activity shall be conducted in such a manner as not to have a detrimental effect on permitted adjacent uses by reason of refuse matter, noise, light, vibration, or lack of proper maintenance of grounds or buildings.
- v. Outdoor storage of materials, products, equipment or vehicles, shall be screened by a solid decorative wall not less than 96 inches in height extending from the building closest to the street(s) in a parallel manner to the street(s). Materials, products or equipment stored outdoors shall not be piled higher than the height of the wall, nor encroach into required parking and landscape areas.
- vi. All property shall be maintained in a safe, sanitary and attractive condition, including but not limited to structures, landscaping, parking areas, walkways, and trash enclosures.
- vii. Loading areas shall not be visible from arterial streets or from streets adjacent to front yards. Loading areas facing other streets shall be screened with a streetscreen. Loading areas not facing a street shall be setback at least thirty-five (35) feet from the property line.

9. General Public Right-of-Way Requirements.

The following standards are to be applied to streets, open space and any other right-of-way:

A. Street Furnishings. Street furnishings are exterior amenities, including but not limited to, tables, chairs, umbrellas, landscape pots, wait stations, valet stations, bicycle racks, planters, benches, bus shelters, kiosks, waste receptacles and similar items that help to define pedestrian use areas.

1. Prohibited street furnishings. The following street furnishings are prohibited within the right-of-way (street or open space):

- i. Vending machines
- ii. Photo booths
- iii. Automated machines such as, but not limited to, penny crunching machines, blood pressure machines, fortune-telling machines, video games, animated characters and other such machines that are internally illuminated, or have moving parts, or make noise, or have flashing lights.
- iv. Inanimate figures such as animals, mannequins or any such cartoon or human figure. This section does not affect public art as defined in this code (chapter 11.60.110).

2. Street furnishing materials.

- i. Street furnishings shall be made of wood, metal, stone, terra cotta, cast stone, hand-sculpted concrete, or solid surfacing material.
- ii. Inexpensive plastic resin furnishings are prohibited.

3. Advertising on street furnishings.

4. Visibility. Street furnishings, such as tables and chairs may not be stored in such a way as to be visible from the street.

.100 Required Findings

11.60.100 REQUIRED FINDINGS

Prior to approving an application involving property subject to this Code, the Community Development Director shall evaluate the application for compliance with this Code per the findings of this Chapter.

The application is required to demonstrate compliance with the applicable findings. Each finding is assumed to be preceded with "*The proposed application...*". In cases where the statement cannot be made in the affirmative, the proposed application shall be deemed to be out of compliance with this Code and not be able to be approved.

A. REGULATING PLAN AND ZONES: 11.60.020

"The proposed application..."

1. Establishes and maintains unique zones to effectively implement the vision, policies and physical character as envisioned in the Community Design Element of the South Gate General Plan;
2. Generates or maintains the intended physical character of each zone based on the policies and direction in the South Gate General Plan through the appropriate allocation of land use, building, frontage, and signage types;
3. Generates or maintains a compatible transition between zones through changes in zone at the mid-block or through appropriate allocation of street types for changes in physical scale on opposite sides of a street.
4. Is in compliance with the requirements of the applicable zone and Figure 11.60.020(A), Regulating Plan.

B. LAND USE TYPES AND STANDARDS: 11.60.030

"The proposed application..."

1. Is an allowed land use type that supports the intended physical character, as envisioned in the Community Design Element of the South Gate General Plan;
2. Generates or maintains compatibility between adjacent and surrounding land use types;
3. Reflects the primary purposes of the particular zone(s) and is able to be approved administratively because it will achieve compatibility through compliance with the applicable requirements of this Code;
4. Upon including the necessary conditional requirements for land use types where it cannot be assumed that compatibility will be achieved solely through compliance with the applicable requirements, will achieve compatibility.
5. Is in compliance with the requirements of the applicable zone.

C. URBAN STANDARDS: 11.60.040

“The proposed application...”

1. Generates or maintains a pedestrian-oriented streetscape within and between zones, as envisioned the Community Design Element of the South Gate General Plan;
2. Generates or maintains compatible adjacencies of building location and scale between new buildings and neighboring buildings as well as existing neighborhoods;
3. Provides for vehicular / service access without adversely affecting the pedestrian-orientation of the streetscape;
4. Generates or maintains a balanced parking supply that groups or shares commercial parking between multiple properties/ blocks through an identified shared parking strategy, acknowledging the different parking needs across the community and during different times of day;
5. Is in compliance with the requirements of the applicable zone.

D. BUILDING TYPE STANDARDS: 11.60.050

“The proposed application...”

1. Generates or maintains pedestrian-oriented buildings on individual lots that incrementally shape the streetscape envisioned in the South Gate General Plan;
2. Generates or maintains pedestrian-oriented buildings through appropriately sized individual lots for each allowed building type;
3. Supports an active streetscape through buildings on individual lots that front the street and/or open space with rooms/activities that are compatible with being adjacent to a streetscape;
4. Generates or maintains pedestrian-oriented open space within residentially-oriented building types to provide a private open space in addition to public open space throughout the community;
5. Generates or maintains buildings that creatively respond to their site conditions and are physically compatible with their surroundings through distribution of building massing.
6. Is in compliance with the requirements of the applicable zone.

E. FRONTAGE TYPE STANDARDS: 11.60.060

"The proposed application..."

1. Generates or maintains the applicable pedestrian-oriented streetscape(s) through the appropriate design of frontages corresponding to the vision, as envisioned in the Community Design Element of the South Gate General Plan;
2. Generates or maintains an active and continuous streetscape along all frontages to support pedestrian activity in combination with vehicular traffic;
3. Generates or maintains an appropriate transition from the public streetscape to the private lot/building;
4. Expresses creativity in designing frontages per the allowed frontage types.
5. Is in compliance with the requirements of the applicable zone.

F. (Reserved) SIGN TYPE STANDARDS: 11.60.070**G. BLOCK AND STREET STANDARDS: 11.60.080**

"The proposed application..."

1. Generates or maintains an interconnected, hierarchical network of walkable, pedestrian-oriented blocks defined by pedestrian-oriented streets, as envisioned in the Community Design Element of the South Gate General Plan;
2. Integrates public open space corresponding to the intended physical character and role of the particular zone(s);
3. Generates or maintains all parcels within each block to facilitate pedestrian-oriented building design with building entrances on bordering streets and/or open space;
4. Provides for vehicular/service access to blocks through alleys or as otherwise allowed to maintain a pedestrian-oriented streetscape while adequately servicing the individual buildings;
5. Generates or maintains a pedestrian-oriented streetscape through the design of streets which are contextually appropriate to the allowed buildings and intended activities along their frontage(s).
6. Is in compliance with the requirements of the applicable zone.

H. GENERAL REQUIREMENTS: 11.60.090

"The proposed application..."

1. Is in compliance with the applicable requirements.

I. DEFINITIONS: 11.60.110

"The proposed application..."

1. Is in compliance with the applicable definitions.

110 Definitions

11.60.110 DEFINITIONS

This chapter provides definitions of terms and phrases used in this Code that are technical or specialized, or that may not reflect common usage. If any of the definitions in this chapter conflict with definitions in the South Gate Zoning Code (chapter 11.04) or other provisions of the South Gate Municipal Code, these definitions shall control for the purposes of this Code. If a word is not defined in this chapter, or in other provisions of the South Gate Municipal Code, the Community Development Director shall determine the correct definition through a written interpretation presented to the Planning Commission.

1. Terms and phrases. As used in this Code, each of the following terms and phrases shall have the meaning ascribed to them in this Section, unless the context in which they are used clearly requires otherwise.
2. Land use type classifications. The land use types listed in Table 3A shall be defined as provided in the City's Zoning Code (Use Type Classifications), except for use types that are defined in this chapter, and identified as "(land use types)."

A

Accessory Dwelling: an apartment not greater than 500 square feet sharing ownership and utility connections with a principal building. An accessory dwelling may or may not be within an outbuilding.

Accessory Structure: a detached building or structure, part of a building or structure, which is incidental or subordinate to the main building, structure or use on the same parcel, without cooking facilities (e.g., storage shed, garage, gazebo).

Allee: a row of trees planted along a Thoroughfare or Pedestrian Walkway.

Alley: a low capacity thoroughfare with one, shared lane and no parking lanes, designed and intended for service and/or secondary access purposes.

Antique or Collectible Store (land use type): A retail store that sells antiques, curios, gifts and souvenirs, and collectible items including sports cards and comic books. This land use type does not include stores selling other types of second hand items (e.g., clothing), which are instead included in the definition of "Second Hand Store."

Apartment: a dwelling sharing a building and a lot with other dwellings and/or uses. Apartments may be for rent or for sale as condominiums.

Arcade: see 'Frontage Types'

Architectural Type (also referred to as 'Building Type'): a structure defined by the combination of configuration, placement and function.

B

Bicycle Path: a dedicated area, paved in a variety of materials (e.g., asphalt to decomposed granite) that is non-traversable by vehicles and is often shared with pedestrians.

Bicycle Route: an identified area, usually by white lines, that is part of the vehicular roadway that allows bicycle use.

Block: the aggregate of private lots, passages, common drives and, lanes, circumscribed by thoroughfares.

Block Face: the combined building facades on one side of a block providing the context for establishing architectural harmony.

Building access: the manner in which people enter a building of which there are two;
Walk-up access (also referred to as 'direct' access): People have direct access to the entrance of a suite or dwelling from the street, paseo or a shared open space;

Point Access (also referred to as 'elevator' or 'lobby' access): People have indirect access to the entrance of a suite or dwelling from the street, paseo or a shared open space

Depending upon the building type, either or both forms of building access may be present.

Building Function: the land use types accommodated by a building and its lot.

Building Height: the vertical extent of a building measured in stories to the eave of the highest story, not including a raised basement or a habitable attic. Unless specified otherwise, height limits do not apply to masts, belfries, clock towers, chimney flues, and similar structures. Building height shall be measured from the average grade of the adjacent public street or open space.

Building Placement: the maximum horizontal envelope available for placing a building on a lot.

Building Type: (also referred to as 'Architectural Type'): a structure defined by the combination of configuration, placement and function. The building types used in this Code are described below in the order that they appear in this Code:

- **Flex Block:** a point-access structure designed for occupancy by retail, service, office and/or residential uses on the ground floor, with upper floors also configured for those uses, depending upon where it is located.
- **Lined Block:** a point-access structure that conceals a larger building such as a public garage or other 'faceless' building that is designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for residences.
- **Hybrid Court:** a structure that combines a point-access portion of the building with the walk-up access suites or dwellings typical of the court type. This type is designed for occupancy by retail, service, and/or office uses on the ground floor, with upper

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floors also configured for those uses or for residences.

- **Court:** the attached version of a bungalow court, consisting of a variety of walk-up access suites or dwellings (flats, townhouses and lofts) that are arrayed next to each other, on one or more courts, to form a shared type that is partly or wholly open to the street.
- **Rowhouse:** an individual structure on a lot with a rear yard and individual garage, occupied by one walk-up access dwelling, or non-residential uses as allowed by this Code, or a structure of multiple townhouse walk-up access unit types arrayed side by side along the primary frontage. This type can be designed for occupancy by retail, service, office and/or residential uses depending upon where it is located.
- **Bungalow Court:** individual structures designed for occupancy by retail, service, office and/or residential uses consisting of freestanding single-family walk-up access houses arranged around a common, shared courtyard that is wholly open to the street.
- **Duplex, Triplex, and Quadplex:** structures that are multiple walk-up or point-access dwelling forms and architecturally presented as large single-family houses.
- **House:** A structure occupied by one walk-up access dwelling.

Civic Building(s): a point-access structure operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Carriage House (also referred to as 'accessory dwelling'): an attached or detached walk-up access dwelling which provides complete independent living facilities for one or more persons and which is located or established on or adjacent to the garage of the same lot on which a single-family house is located. Such a dwelling may contain permanent provisions for living, sleeping, eating, cooking and sanitation. This definition includes 'granny flats'.

Bulkhead: A low partition located between the sidewalk adjacent to a building's glazed opening(s).

C

Civic: the term defining not-for-profit organizations dedicated to the arts, culture, education, government, transit and municipal parking facilities.

Civic Space: an open area dedicated for public use, typically for community gatherings, physically defined by the intended use(s), size, landscape and by the buildings that align the space.

Colonnade: a series of columns similar to an arcade but spanned by straight lintels rather than arches, linked together, usually as an element of a building.

Commercial Recreation Facility, Indoor (land use type): establishments providing indoor amusement and entertainment services for a fee or admission charge, including:

- bowling alleys
- coin-operated amusement arcades
- dance halls, clubs and ballrooms
- electronic game arcades (video games, pinball, etc.)
- ice skating and roller skating
- internet/cyber café
- pool and billiard rooms as primary uses

Four or more electronic games or coin-operated amusements in any establishment, or a premises where 50 percent or more of the floor area is occupied by amusement devices, are considered an electronic game arcade as described above; three or fewer machines are not considered a land use separate from the primary use of the site. This use does not include adult businesses which are regulated under South Gate Municipal Code section 11.04.027.

Commercial Frontage: the non-residential frontage of a building. Non-residential activities subject to city approval are allowed within this space, which must be at least 30 feet in depth as measured from the adjacent public sidewalk or public space. These spaces are limited to the first floor and as such are subject to the requirements of chapter 11.60.060.

Conservation Overlay Zone: An area located primarily in residential neighborhoods that has a distinct physical character and preservation or conservation as the primary goal; accomplished through a variety of approaches including the adoption of a zoning overlay or independent zoning district, in order to provide protection for character-defining streetscapes in older areas threatened by new development or governmental policies that undermine rather than encourage neighborhood preservation by the application of neighborhood-specific design criteria and/or development controls.

Context: the particular combination of elements that create a specific physical environment. A zone in this Code is administratively similar to the land-use zones in conventional zoning ordinances, except that in addition to specifying the allowed density, height, required setbacks and building uses, all the relevant elements and characteristics of the intended physical environment are identified and integrated into the regulations.

Curb: the edge of the vehicular pavement detailed as a raised curb or a swale.

D

Density: the number of dwelling units within a standard measure of land area, usually as units per acre.

Design Speed: the velocity at which a Thoroughfare can be comfortably driven without the constraints of signage or enforcement. For the purposes of design speed, there are 4 general ranges of speed: Very Low: below 20mph, Low: 20-25mph, Moderate: 25-35mph and High: above 35mph. Design speed determines the character and context for a particular segment of the Thoroughfare system.

Developable Lot Area: those areas of a site that are not required as building setbacks, driveway access or open space.

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Driveway: a vehicular lane within a lot, usually leading to a garage.

Dwelling, Multi-Family (land use type): See 'Building Types' Duplex through Lined-Block.

Dwelling Unit Types: the individual dwelling configuration(s) within a building;

- Flat: A single-story unit.
- Loft: A double-story height unit with a mezzanine .
- Townhouse: A two to three-story unit.
- Apartment: A rental version of a Flat, Loft, or Townhouse.
- Condominium: An ownership version of a Flat, Loft or Townhouse

E

Elevation (Building): the exterior walls of a building not along a frontage. Also referred to as 'Facade' when the elevation is along a frontage line.

Enfront: the placement of an element along a frontage line, as in "buildings enfront a civic space."

Entrance (Principal): the principal point of access of pedestrians to a building.

F

Fabric Building: a building which is not civic or otherwise typical of buildings in the overall context and which contributes to the forming of public space by being contextual to emphasize civic and community buildings.

Facade: the exterior wall of a building that is set along a frontage line. Facades support the public realm and are subject to frontage requirements additional to those required of elevations.

Forecourt: see 'Frontage Types'

Forced Podium Hardscape: a built condition which can occur when the "podium" created by the protruding roof of a sub-grade is minimally landscaped and not provided other design elements such as seating areas, fountains and gardens, to soften an otherwise featureless concrete appearance and provide areas within the courtyard that are attractive to, and usable by residents and their visitors for active and passive pursuits.

Frontage Line (Public Streetscape): those lot lines that coincide with a public frontage line. One frontage line shall be designated as the Principal Frontage Line. Facades along Frontage Lines define the public streetscape or adjacent open space and are therefore more highly regulated than the elevations that coincide with other lot lines.

Frontage Type: the architectural element of a building between the public right-of-way and the private property associated with the building. Frontage Types combined with the public realm create the perceptible streetscape. The frontage types used in this Code are described below in the order they appear in this Code:

- Gallery: a roof or deck projecting from the façade of a building, supported by columns located behind the curb of the street that is typically combined with other

frontage types such as Front Yard, Shopfront or Forecourt. Galleries shelter the sidewalk and may be up to three stories in height, if the decks at the second and third floors are unenclosed.

- Shopfront: large glazed openings in a façade, filled with doors and transparent glass in a storefront assembly and may be combined with the Gallery and Forecourt frontage types. This traditional retail frontage type is often provided with canopies or awnings, which may be fixed or retractable, to shelter pedestrians and shade the storefront glass from glare. The storefront assembly may be recessed to provide a widened sidewalk or a covered area for outdoor dining.
- Forecourt: a public or semi-public space formed by a substantial recess in the façade of a building and may be combined with the Gallery and Shopfront frontage types. Forecourts are generally appropriate for commercial or civic use, or in some cases for vehicular drop-off at a civic building or hotel, as distinct from courtyards that are semi-public or private spaces providing frontages of a generally residential character.
- Stoop: an exterior stair with landings that provide access to buildings placed close to the frontage line. Building facades are set back just enough to provide space for the Stoop. The exterior stair of a Stoop may be perpendicular or parallel to the sidewalk. A Stoop's landing may be covered or uncovered. Landscaping on either side of the Stoop may be at grade or elevated, and may be demarcated by a garden wall that must not exceed 18 inches in height.
- Terrace: an elevated frontage that separates and sets back the facade set back from the street. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. Terraces are suitable for conversion to outdoor cafe's.
- Porch and Fence: a covered space set back from the frontage line with a front yard between the sidewalk and the porch raised, or at grade, that provide a physical transition from the sidewalk to the building. A fence or wall at the property line may be used to define the private space of the yard. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.
- Front Yard: Front Yards are distinct from the Porch and Fence frontage type in that the Front Yard type is intended as a large buffer and area free of major building encroachments created by substantially setting back the building facades from the frontage line. Front Yards are intended to be visually continuous with adjacent yards, supporting a common landscape but may be fenced.

Front(s) and Back(s): a term referring to the requirement for a building to have a clearly identifiable front facade along the lot's primary frontage, containing the primary pedestrian entrance and a clearly identifiable back facade along the lot's rear property line.

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G

Gallery: see 'Frontage Types'

General Retail (land use type): Stores and shops selling many types of merchandise. Examples of these stores and lines of merchandise include:

A store that primarily sells books is included under "General Retail."

- art galleries, retail
- art supplies, including framing services
- bicycles
- books, magazines, and newspapers
- cameras and photographic supplies
- clothing, shoes, and accessories
- department stores
- drug stores and pharmacies
- dry goods
- fabrics and sewing supplies
- florists and houseplant stores (indoor sales only outdoor sales are "Building and Landscape Materials Sales")
- hobby materials
- jewelry
- luggage and leather goods
- musical instruments (small), parts and accessories (large instruments are under "Furniture, Furnishings, and Appliance Store")
- orthopedic supplies
- small wares, specialty shops
- sporting goods and equipment
- stationery
- toys and games
- variety stores
- videos, DVDs, records, CDs, including rental stores

Ground Floor/ Footprint: the horizontal area resulting from the application of building placement requirements and as further articulated by particular building design. In calculating the building's footprint, only the area occupied by zaguans or other covered passageways may be counted along with all conditioned floor space.

H

House: see 'Building Types'

I

Infill Development: a site seamlessly developed within an existing urban fabric, balancing, completing and/or repairing the surrounding areas.

Inside Turning Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. Control of the curb radius is an important variable in the fostering of a pedestrian-friendly environment.

J (reserved)**K (reserved)****L**

Liquor Store (land use type): a retail store that primarily sells wine, beer, and/or spirits, that may specialize in one or more of the above, and may also sell convenience merchandise including food products.

Lot: a) a separately platted subdivision of land held privately, usually intended for the purposes of building; b) an identifiable area of land, in compliance with the requirements of this Code, that accommodates one pedestrian-oriented building per this Code. The lot may or may not be permanent so long as it serves the purpose of generating a building in compliance with this Code.

Lot Line: the boundary that legally and geometrically demarcates a lot. Such lines appear graphically on a Tract Map or project site plan.

Lot Width: the frontage of a parcel which is used to identify the parcel for street address purposes, and the physical dimension necessary for an allowed building type.

Lot Depth: the parcel's dimension as measured along the interior lot lines and the physical dimension necessary for an allowed building type.

M

Medical Services, Clinic, Urgent Care (land use type): a facility other than a hospital where medical, mental health, surgical and other personal health services are provided on an outpatient basis. Examples of these uses include:

- medical offices of 5 or more licensed practitioners and/or medical specialties
- out-patient care facilities
- urgent care facilities
- other allied health services

These facilities may also include incidental medical laboratories. Counseling services by other than medical doctors or psychiatrists are included under "Offices - Professional/Administrative."

Medical Services, Doctor Office (land use type): a facility other than a hospital where medical, dental, mental health, surgical, and/or other personal health care services are provided on an outpatient basis, and that accommodates no more than four licensed primary practitioners (for example, chiropractors, medical doctors, psychiatrists, etc., other than nursing staff) within an individual office suite. A facility with five or more licensed practitioners is instead classified under "Medical Services - Clinic, Urgent Care." Counseling services by other than medical doctors or psychiatrists are included under "Offices - Professional / Administrative."

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Medical Services, Extended Care (land use type): residential facilities providing nursing and health-related care as a primary use with in-patient beds. Examples of these uses include: board and care homes; convalescent and rest homes; extended care facilities; and skilled nursing facilities. Long-term personal care facilities that do not emphasize medical treatment are included under "Residential Care."

N

Neighborhood Market/Convenience Store (land use type): A neighborhood serving retail store of 5,000 square feet or less in gross floor area, which carries a range of merchandise oriented to daily convenience shopping needs which, may include alcoholic beverage sales as allowed by this Code.

O

Office (land use type): This Code distinguishes between the following types of office types. These types do not include medical offices (see "Medical Service - Clinic, Laboratory, Urgent Care," and "Medical Service - Doctor Office.")

1. Business (service). Establishments providing direct services to consumers. Examples of these uses include employment agencies, insurance agent offices, real estate offices, travel agencies, utility company offices, elected official satellite offices, etc. This use does not include "Bank, Financial Services," which are separately defined.

2. Business (processing). Office-type facilities characterized by high employee densities, and occupied by businesses engaged in information processing, and other computer-dependent and/or telecommunications-based activities. Examples of these uses include:

- airline, lodging chain, and rental car company reservation centers
- computer software and hardware design and development
- consumer credit reporting
- data processing services
- health management organization (HMO) offices where no medical services are provided
- insurance claim processing
- mail order and electronic commerce transaction processing
- telecommunications facility design and management
- telemarketing

3. Professional/Administrative. Office-type facilities occupied by businesses that provide professional services, or are engaged in the production of intellectual property. Examples of these uses include:

- accounting, auditing and bookkeeping services
- advertising agencies
- attorneys
- business associations, chambers of commerce
- commercial art and design services
- construction contractors (office facilities only)
- counseling services
- court reporting services

- detective agencies and similar services
- design services (e.g., architecture, engineering, landscape architecture, urban planning)
- educational, scientific and research organizations
- financial management and investment counseling
- literary and talent agencies
- management and public relations services
- media postproduction services
- news services
- photographers and photography studios
- political campaign headquarters
- psychologists
- secretarial, stenographic, word processing, and temporary clerical employee services
- security and commodity brokers
- writers and artists offices

Outbuilding: an ancillary building (e.g., garage, storage area, crafts space, etc.), usually located towards the rear of the same lot as the principal building. It is sometimes connected to the principal building and sometimes occurs as a separate building (also known as an 'Accessory Structure').

P

"Park-Once" (also referred to as 'Shared Parking'): an approach to parking for non-residential parking needs that establishes the maximum needs for an identifiable area and then strategically distributes shared parking lots/parking garages and as much on-street parking as possible, for the convenience of customers and to relieve individual properties of providing parking on their own lot. This approach is based on an accounting for parking spaces that are available to more than one function that varies according to multiple functions in close proximity unlikely to require the spaces at the same time.

Paseo (also referred to as 'passage', 'promenade'): a public place or path designed for walking.

Pedestrian First: the practice of addressing the needs of people, once out of their automobiles, through a series of interdependent urban design and streetscape principles (e.g., wide sidewalks, street trees and shade, on-street parking, outdoor dining, inviting storefronts, the feeling of being in an 'outdoor room', short crosswalk distances, interconnected and short blocks).

Pedestrian Shed: an area defined by the average distance that may be walked at an easy pace from its edge to its center in approximately 5 minutes. This dimension averages one quarter of a mile or approximately 1400 feet for generally flat terrain.

Personal Services (land use type): Establishments providing non-medical services to individuals as a primary use. Examples of these uses include:

- barber and beauty shops
- clothing rental
- dry cleaning pick-up stores with limited equipment
- home electronics and small appliance repair
- locksmiths
- fortune tellers

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- palm and card readers
- pet grooming with no boarding
- psychics
- shoe repair shops
- tailors

These uses may also include accessory retail sales of products related to the services provided.

Personal Services, Restricted (land use type). Personal services that may tend to have a blighting and/or deteriorating effect upon surrounding areas and which may need to be dispersed to minimize their adverse impacts. Examples of these uses include:

- check cashing stores
- laundromats (self-service laundries)
- massage (licensed, therapeutic, non-sexual)
- pawnshops
- spas and hot tubs for hourly rental
- tattoo and body piercing services
- tanning salons

Planter: the portion of the streetscape which accommodates street trees. Planters may be continuous or individual according to the particular thoroughfare and location.

Podium Garage: an at-grade parking facility that is completely within a structure that supports an upper floor(s) of a building.

Porch: see 'Frontage Types'

Principal Building: the main building on a lot, always located toward the frontage.

Private Frontage: the privately held layer between the frontage line and the principal building facade which includes the depth of the setback and the combination of architectural elements such as front yards, fences, stoops, porches, forecourts, shopfronts and galleries.

Public Art: visual or performing art for temporary or permanent display in a public place, within a public right-of-way or public building.

Public Frontage (also referred to as 'streetscape'): the area between the frontage line and the curb of the vehicular lanes which includes the type and dimension of curbs, walks, planters, street trees and streetlights.

Public Garage (park-once garage): a garage (below or above-grade) which provides the public with parking spaces for commercial, service and office uses.

Public Realm: the combination of buildings, streetscape and activity that generate the physical character as viewed within the public right-of-way.

Q (reserved)

R

Recess Line: a horizontal line, the full width of a facade, above which the facade sets back a specified distance from the facade below.

Residential: premises available for long-term dwelling.

Retail: premises available for the sale of merchandise and food service.

Retail Frontage Line: Frontage Line designating the requirement for a shopfront, making the ground level available for retail use.

S

Second Hand Store (land use type): a retail store principally selling second hand items (e.g., clothing) as distinct from an antique or collectible store which sells antiques, curios, gifts and souvenirs, and collectible items including sports cards and comic books.

Setback (building): the area of a lot measured from a lot line to a building facade that must be maintained clear of permanent structures excepting galleries, forecourts, fences, garden walls, porches, stoops, balconies, bay windows, terraces and decks (that align with the first floor level) which are permitted to encroach into the required setback.

Setback (parking): the area of a lot measured from a lot line to parking facilities and/or spaces that must be maintained clear of parking facilities and/or spaces.

Shopfront: see 'Frontage Types'

Sidewalk: the paved portion of the public frontage dedicated exclusively to pedestrian activity.

Stoop: see 'Frontage Types'

Story: a habitable level within a building from finished floor to finished ceiling. Attics and raised basements are not considered a story for the purposes of determining building height.

Streetscape: the urban element that provides the major part of the public realm and consists of the combination of building facades, signage, street furnishings and equipment, sidewalk, and landscape. Streetscapes vary in response to their intended physical character and context.

Streetwall: a term referring to the vertical mass of an individual building or the combination of several buildings that shape the streetscape.

Streetscreen: a hedge or an opaque, freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from view. Streetscreens are between 3.5 and 8 feet in height, and constructed of a material matching the adjacent building facade. Streetscreens may have openings no larger than necessary to allow automobile and pedestrian access.

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T

Terrace: a level, paved area accessible directly from a building as its extension either in the front, side or rear of a building.

Thoroughfare (also referred to as 'street'): a vehicular way incorporating moving lanes and parking lanes (except alleys/lanes which have no parking lanes) within a right-of-way.

Thoroughfare ('street') Types: the variety of types of thoroughfares that comprise an interconnected, varied and hierarchical network:

Traffic-Calming: a set of techniques which serves to reduce the speed of traffic such as lane-narrowing, on-street parking, chicanes, yield points, sidewalk bulge-outs, speed bumps, surface variations, mid-block deflections, and visual clues. Traffic calming is a retrofit technique unnecessary when thoroughfares are correctly designed for the appropriate speed at initial construction.

Transit-Oriented Development: mixed-use nodes limited in extent by walking distance to the transit stop and characterized by building types that offer a variety of housing choices that do not depend upon conventional vehicular needs of suburban housing choices.

Transition Line: a horizontal line, the full width of a facade expressed by a material change or by a continuous horizontal articulation such as a cornice or a balcony.

Type: a form determined by function and confirmed by culture. A Type is physically defined by its function, and its configuration, and in the case of buildings, its disposition on the lot including frontage and height.

U

Urban: the most intense of the three general types of human settlement (rural, suburban, urban) of which there is a range of urbanity as evidenced by a community such as South Gate and more urban communities in large metropolitan centers.

V

Vernacular: the common language of a region, particularly in reference to architectural tectonics. Through time and use, the vernacular has intrinsically resolved the architectural response to climate, construction technique, and to some extent, social mores.

W

Walkable: a term referring to the pedestrian-orientation of the block and street network and the frequency of intersections where people can cross a street, favoring shorter blocks over longer blocks to allow for shorter routes to be used by pedestrians and motorists and, to balance the needs of pedestrians with those of motorists.

X (reserved)

Y

Yard: (per SGMC 11.04.525) open space other than a court on a lot, unoccupied and unobstructed from the ground upward, except as otherwise provided in the SGMC.

Yard: Front (per SGMC 11.04.530) an area extending across the full width of the lot and lying between the lot front line and a line parallel thereto, and having a distance between them equal to the required front yard depth as prescribed. This definition is in addition to and support of the Front Yard frontage type as identified in 11.60.060.

Z

Zaguan: a pedestrian passage of one to two rooms in depth and one story in height between a public street / open space and a courtyard or other open space.

