

**ACCESSORY DWELLING UNIT/  
 JUNIOR ACCESSORY DWELLING UNIT REVIEW**

| <b>PROJECT INFORMATION</b>   |  |  |  |
|------------------------------|--|--|--|
| Project Address:             |  |  |  |
| Assessor's Parcel Number(s): |  | Zoning:                                |  |
| Lot Size:                    |  | Proposed Lot Coverage (including ADU): |  |
| Square Ft. of ADU/JADU:      |  | Project Valuation:                     |  |
| Project Description:         |  |  |  |
| Legal Description:           |  |  |  |

| <b>PROPERTY OWNER INFORMATION</b>  |  |             |  |
|--|--|-------------|--|
| Property Owner:  |  |             |  |
| Mailing Address:   |  |             |  |
| City, State, Zip:  |  |             |  |
| Telephone:   |  | Email:      |  |
| <p>I declare under the penalty of perjury that the information provided on this application is true and correct; and that the attached diagrams are complete and are an accurate depiction of the sign(s) to be used on the above premises. Further, I understand that no additional sign(s) will be permitted unless approved by the Department of Community Development.</p> |  |             |  |
| Property Owner's Signature: _____  |  | Date: _____ |  |
| <b>APPLICANT INFORMATION (IF DIFFERENT FROM OWNER)</b>   |  |             |  |
| Applicant:   |  |             |  |
| Mailing Address:   |  |             |  |
| City, State, Zip:  |  |             |  |
| Telephone:   |  | Email:      |  |
| <p>I declare under the penalty of perjury that the information provided on this application is true and correct; and that the attached diagrams are complete and are an accurate depiction of the sign(s) to be used on the above premises. Further, I understand that no additional sign(s) will be permitted unless approved by the Department of Community Development.</p> |  |             |  |
| Applicant's Signature: _____   |  | Date: _____ |  |

| <b>For Office Use Only</b> |                    |                |
|----------------------------|--------------------|----------------|
| Date Received: _____       | Received By: _____ | Case No. _____ |
| Date Approved: _____       | Approved By: _____ |                |
| <b>Notes:</b>              |                    |                |

**ACCESSORY DWELLING UNIT/  
JUNIOR ACCESSORY DWELLING UNIT SUBMITTAL CHECKLIST**

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**ADDITIONAL PROJECT INFORMATION**

**ADU Project Information (check applicable):**

- New Construction
  - Attached
  - Detached
- Conversion of Existing Detached Garage
- Conversion of Existing Legal Accessory Structure (non-garage)
- Within Existing Primary Dwelling

**Location (check applicable):**

- Attached to Primary Dwelling
- Detached in Rear Yard
- Within Existing Primary Dwelling

**Public Transit Parking Exemption (check below if answer is 'yes')**

- Property is located within ½ mile of public transit stop or station  
Intersection of closest transit stops within ½ mile: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS: (ALL ITEMS MUST BE INCLUDED AT TIME OF SUBMITTAL)**

- A complete Accessory Dwelling Unit Review Form
- Three (3) sets of architectural plans, **24"x36"** in size, scaled to an Engineer's or Architect's scale. Preferred scale is ¼" foot or 1/8<sup>th</sup> foot. The plans must be collated, stapled and folded into 8 ½ x 11 and consist of:
  - 1. Site Plan
  - 2. Floor plan
  - 3. Elevations
    - Legend of materials, colors and design features keyed to elevations
    - Show roof pitches
- Photographs of subject property showing front elevation, rear elevation and the area for the proposed ADU/JADU. (Minimum of 3 photographs)
- Colored Materials Sheet and Window/Door Schedule (can be incorporated into elevations)
- Application Fee

## ACCESSORY DWELLING UNIT/ JUNIOR DWELLING UNIT REVIEW REQUIRED PLANS

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**PLAN SIZE:** 24" x 36"

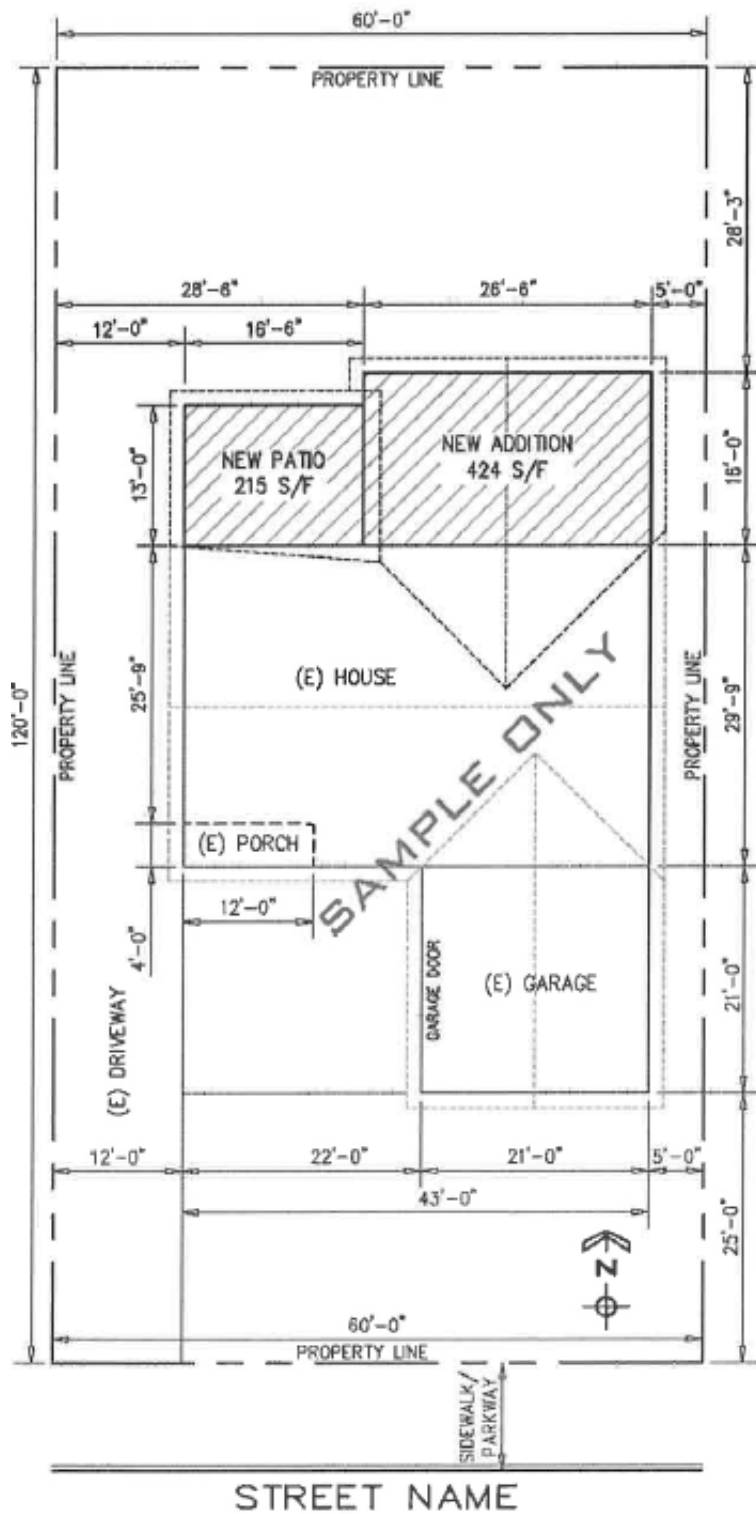
**FOLDING:** Fold all plans to a size of 8½" X 14" or less, Rolled plans will not be accepted.

**SCALE REQUIREMENTS:** All plans shall be drawn and printed to scale.

**REQUIRED SITE PLAN:** Preferred Scale (1/8" per foot)

- a. Address of Project
- b. Scope of Project
- c. Property Line (PL) fully dimensioned
- d. North Arrow & Scale
- e. Location Map
- f. Legal description of subject property
- g. Tabular legend showing address, zoning, size of lot, size of each building coverage, floor area ratio, and parking counts(required and proposed)
- h. Setbacks: Label front, side, and rear setbacks in appropriate zone perpendicular to the property line
- i. All existing and proposed structures
- j. Building separation dimensions
- k. Utilities: Show existing and proposed structures; i.e. A/C units, cable, utility or telephone poles on and or over the property lines (all ground and roof-mounted utilities on-site shall be screened from view)
- l. Fences/Walls: Show existing and /or proposed fences or walls; Identify height and materials
- m. Landscape: Label open space requirements per City Code; Show landscaped areas including planter beds
- n. Driveway width
- o. Easements
- p. Parkway & Public right-of-way
- q. Private streets/alleys
- r. Pedestrian walkways

**SAMPLE SITE PLAN:** Not to Scale



**PROJECT DATA**

**Address:** 1234 Street Name,  
Baldwin park, CA 91706

**Scope of Work:** Addition of bedroom, bathroom, and closet at 424 S/F and covered patio at 215 S/F.

**Lot Area:** 7,200 Sq. Ft.

**Existing:**  
Dwelling: 1,231 Sq. Ft.  
Garage: 441 Sq. Ft.  
Porch: 48 Sq. Ft.

**New:**  
Addition: 424 Sq. Ft.  
Covered Patio: 215 Sq. Ft.

**TOTAL:**  
House: 1,655 Sq. Ft.  
Garage: 441 Sq. Ft.  
Porch & Patio: 263 Sq. Ft.

**Height of Building:** 15'-6"

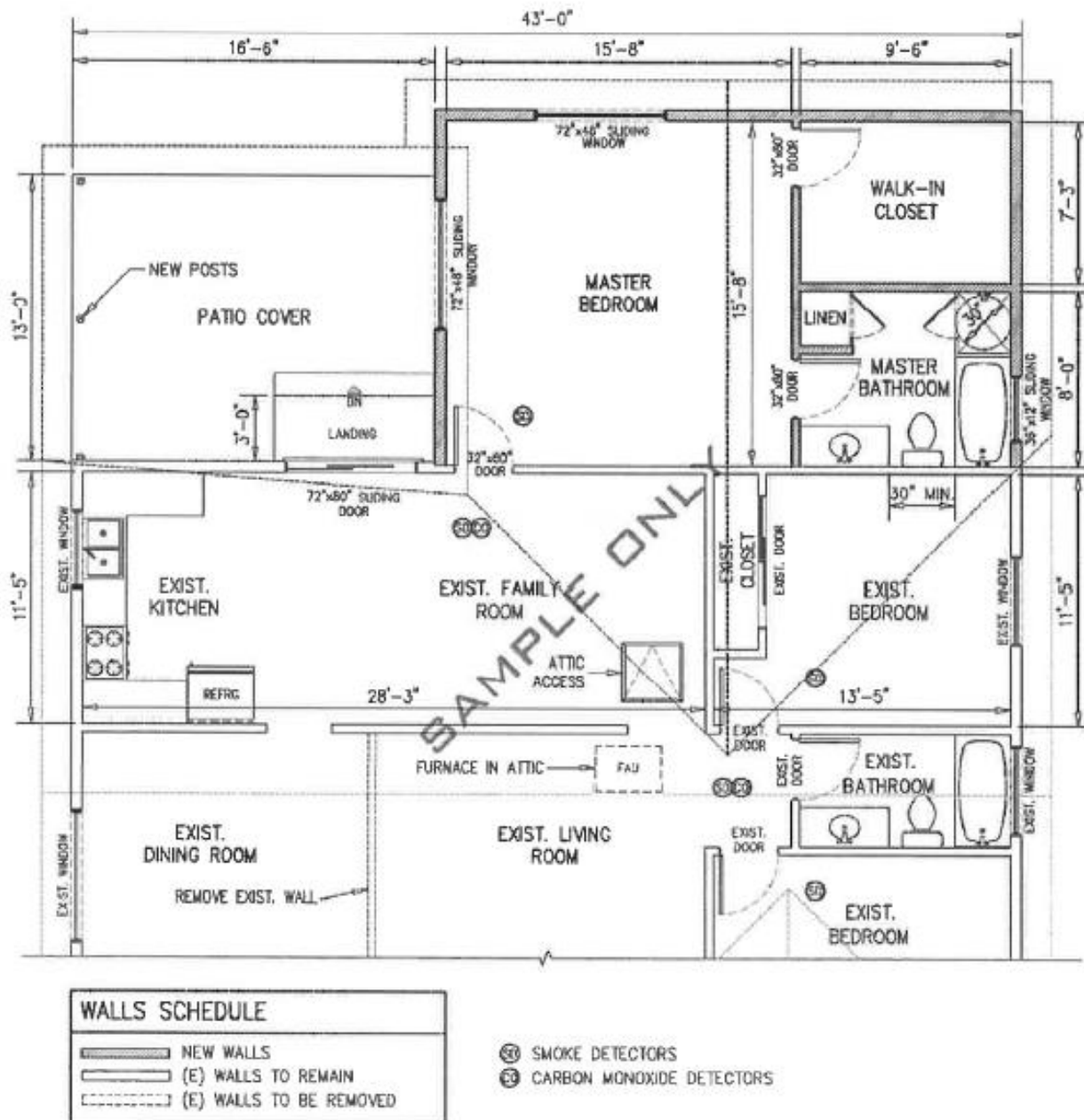
**Lot Coverage:** (1655+441+263) = 2,359 Sq. Ft.

**Coverage Percent:** 2359/7200 = 32.7%

**REQUIRED FLOOR PLAN:** Preferred Scale (1/4" per foot)

- Provide a floor plan for each floor of the building.
- Dimensioned floor plan and square footage calculation for each bedroom, closet, kitchen, room, walkway, and other internal features. Show attached structures such as patio covers or porches.
- Provide a wall schedule identifying existing walls, new walls, and walls to be removed.
- Located all windows and doors. Specify their sizes and opening types (4'x4' sliding window, 3'x4'6" hung, 6'x6'8" French door, etc.).
- Show mechanical and plumbing fixtures including laundry facilities for each dwelling (toilets, sinks, water heaters, furnace, etc.).

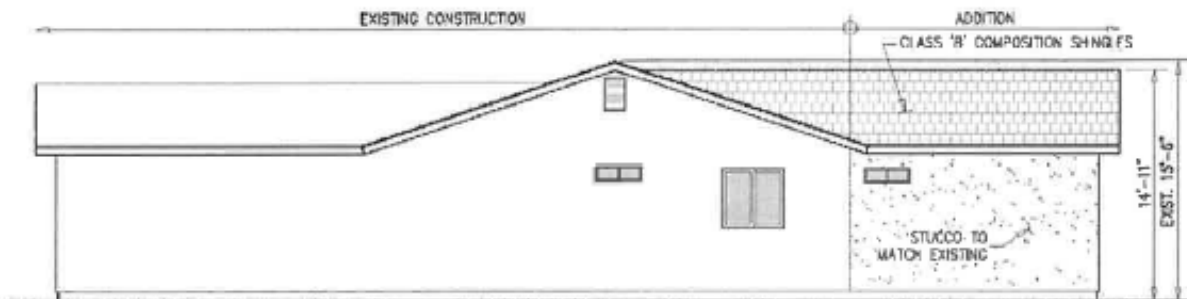
**SAMPLE FLOOR PLAN:** Not to Scale



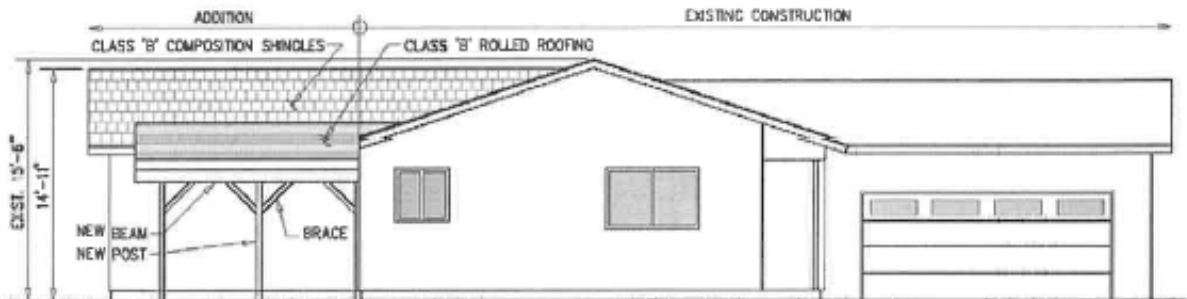
**REQUIRED ELEVATION PLANS:** Preferred Scale (1/4" per foot)

- a. Elevation drawings shown from north, south, east, and west perspective. For additions clearly define existing and proposed portions of the building.
- b. Legend of materials, colors, and design features keyed to elevations
- c. Building length and height dimensions- specify height to the highest point of the roof structure.
- d. Indicate exterior wall openings
- e. Show roof pitches
- f. Door and window details
- g. Roof materials and roof pitch
- h. Towers, chimneys and other roof projections

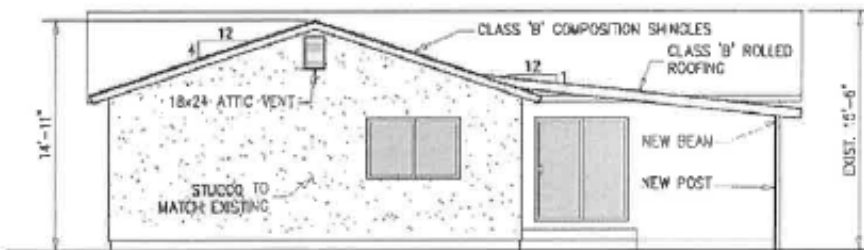
**SAMPLE ELEVATIONS and BUILDING SECTION:** Not to Scale



**EAST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**