

Understanding the Garage Conversion Process Workshop #3



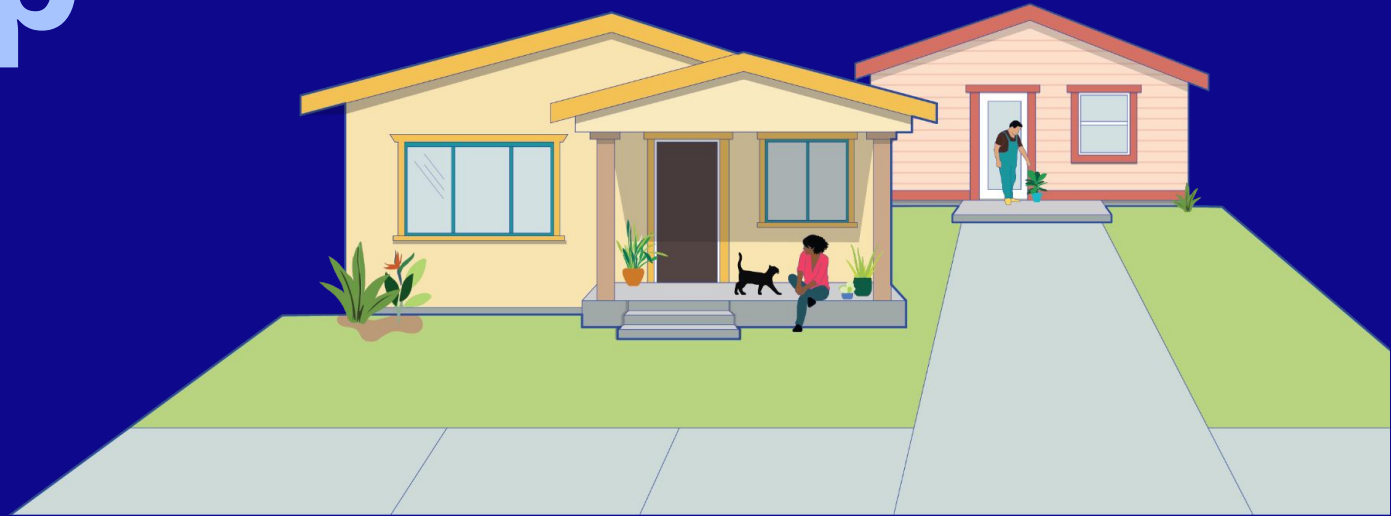
RNLA
RESTORE NEIGHBORHOODS LA, INC.

Agenda

- 1. Workshop #1 Recap**
 - a. What is an Accessory Dwelling Unit (ADU)?**
- 2. Workshop #2 Recap**
 - a. Permit-Ready ADU Program**
 - b. Garage Standard Plan Program**
- 3. Understanding the Garage Conversion Process**
- 4. Upcoming Workshops**
- 5. Q & A**

Workshop #1

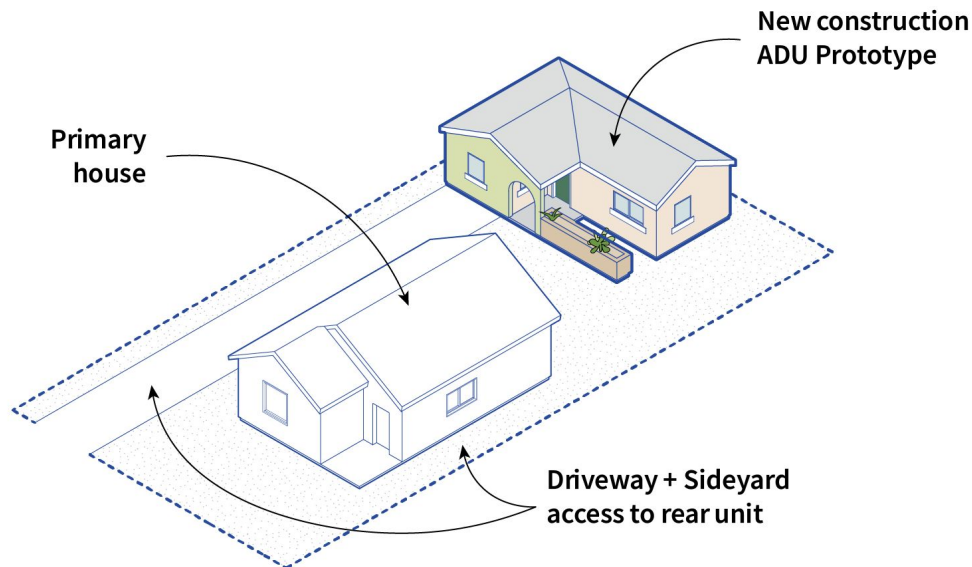
Recap



What is an Accessory Dwelling Unit (ADU)?

An attached or detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence on a fixed, permanent foundation.

All ADUs shall be constructed with independent access separate from the main residence entrance. All ADUs shall have a living/sleeping area, a full kitchen; washer/dryer in-unit or access to a shared laundry room area; and a bathroom that includes a shower and/or bathtub.

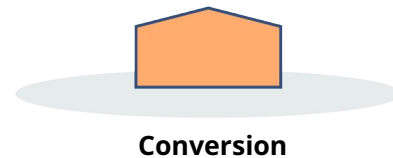
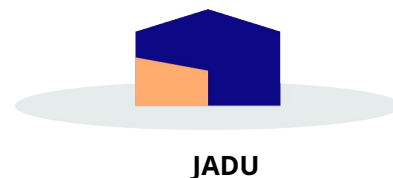
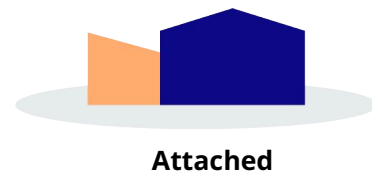
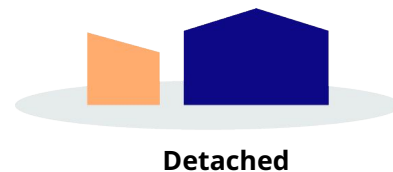


What kinds of ADUs are there?

There are four (4) types of ADUs - detached and attached ADUs, conversions, and JADUs.

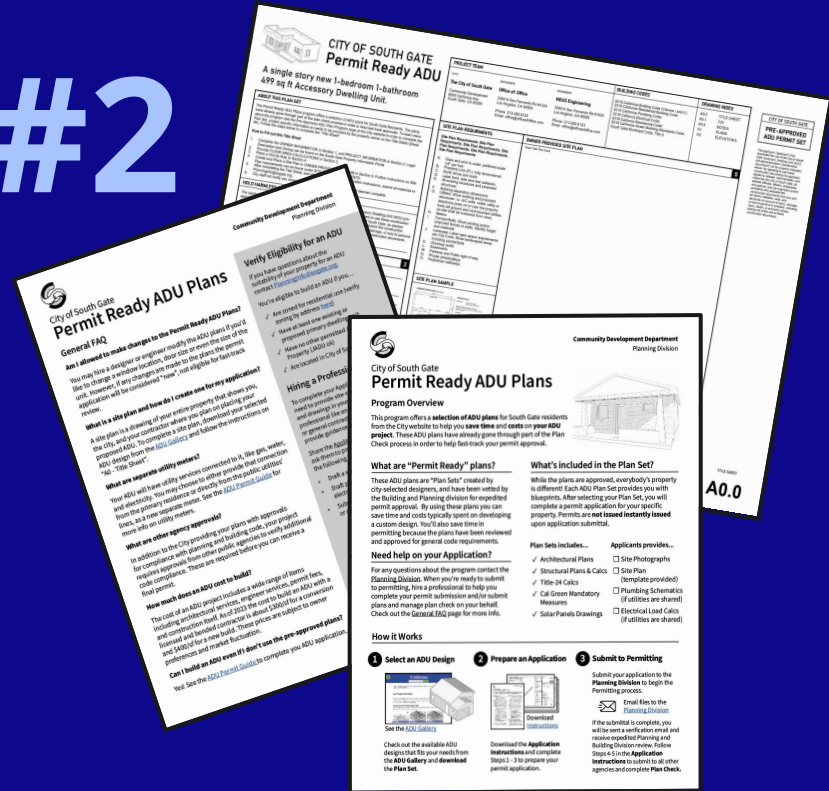
There are different ways to have an ADU on your property. ADUs can be achieved through new construction or a conversion of an existing garage, accessory structure, or portion of a dwelling unit. ADUs can be attached to or detached (free standing) from an existing single family or multi-family home.

When a portion of the existing single-family or multi-family home or an existing accessory structure is converted into an ADU, it is exempt from meeting certain development standards such as setbacks.



Workshop #2

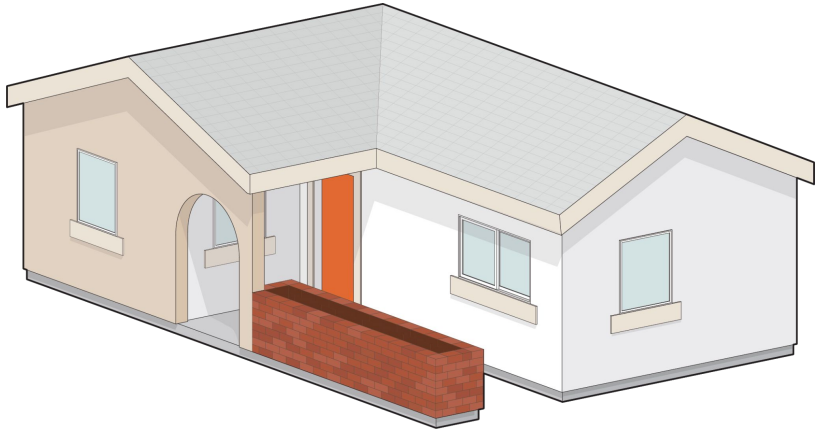
Recap



ADU Programs

As part of the City's new ADU programs, homeowners will have the option of selecting an ADU plans that have pre-designed elements, saving homeowners money and time. The two plan sets that the City is directly supporting homeowners with are:

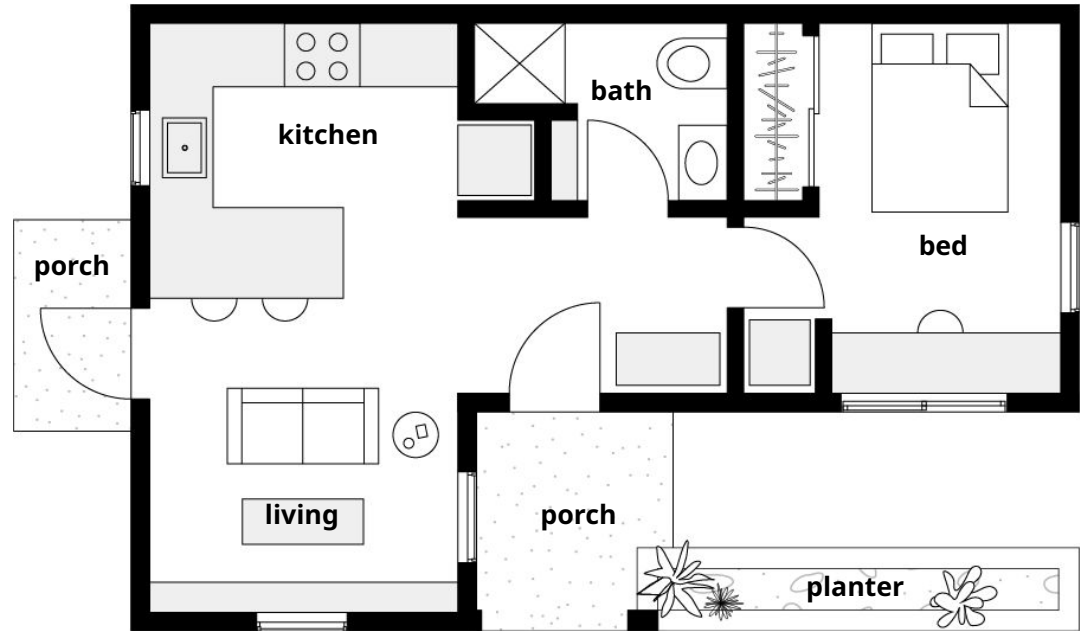
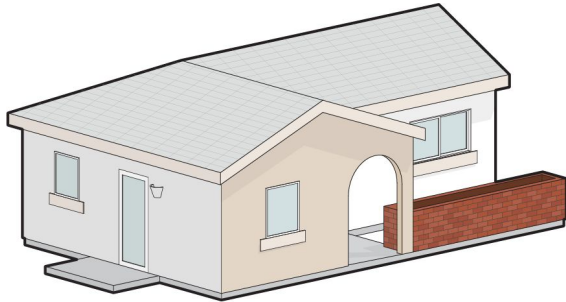
- **(1) Permit-Ready ADU Plan** for a new construction ADU prototype; and
- **(3) Garage Conversion Standard Plans** that streamline the design process for garage conversion ADUs.



Permit-Ready ADU Prototype

Prototype Info

- 499 SQ FT
- 1-bed, 1-bath, kitchen, living, washer/dryer, porch space



Permit Ready ADU Prototype

When homeowners opt to use a Permit-ADU Plan...

They receive several benefits, including:

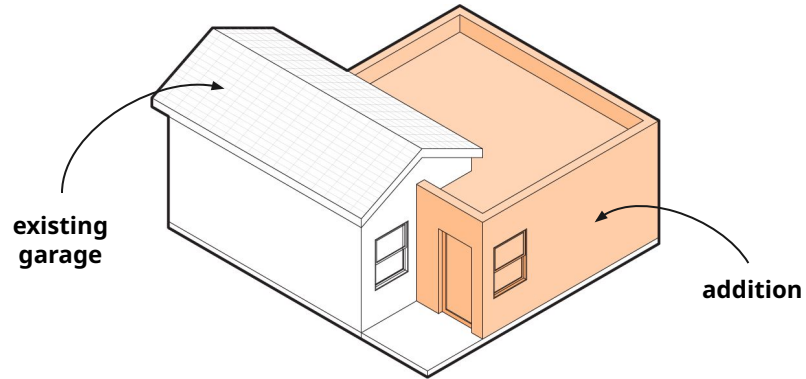
- Eliminating the need to hire an architect or drafter to fully design their ADU;
- Reduced permitting fees; and
- Accelerated permitting process for their ADU.

They still need to:

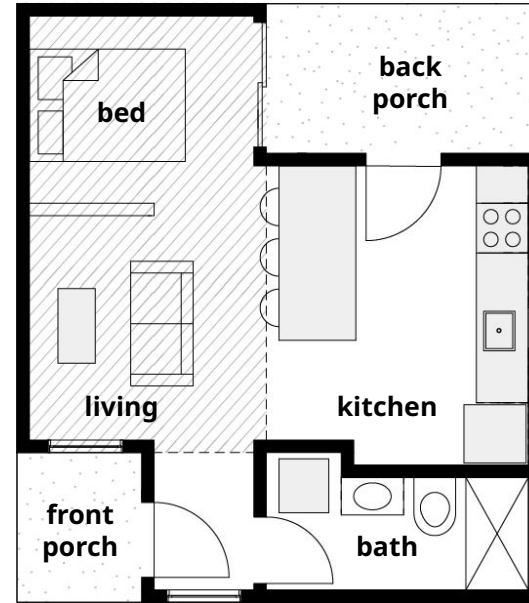
- Complete site-specific plan elements, including:
 - a site plan and
 - a material sheet.
- Determine their preferences for handling utility connections (water, sewer, gas)
 - If meters are shared between the primary unit and the ADU, additional schematic drawings may be required.

Garage Standard Plan Option A

- Single Stall Garage + Addition \approx **408 SQ FT**
- Studio, 1-bath, kitchen, living, washer/dryer, and porch space



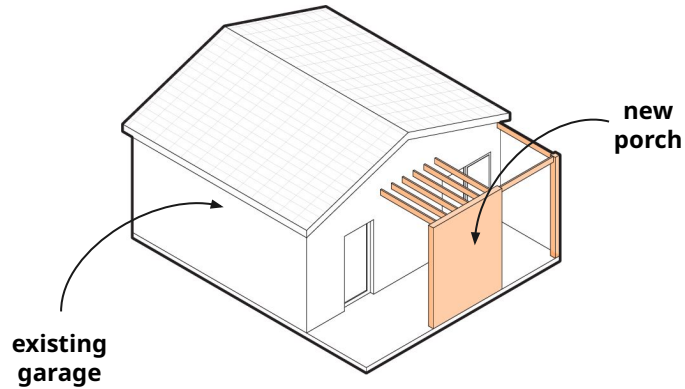
Option A 3D



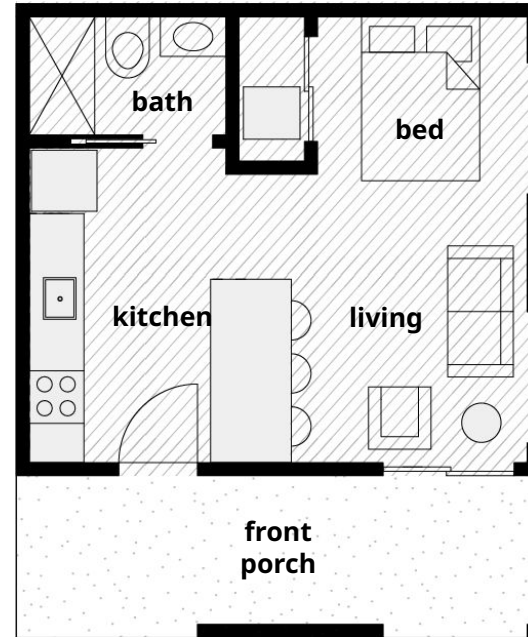
Option A Plan

Garage Standard Plan Option B

- 2 Car Garage \approx 438 SQ FT
- Studio, 1-bath, kitchen, living, washer/dryer, and porch space (optional)



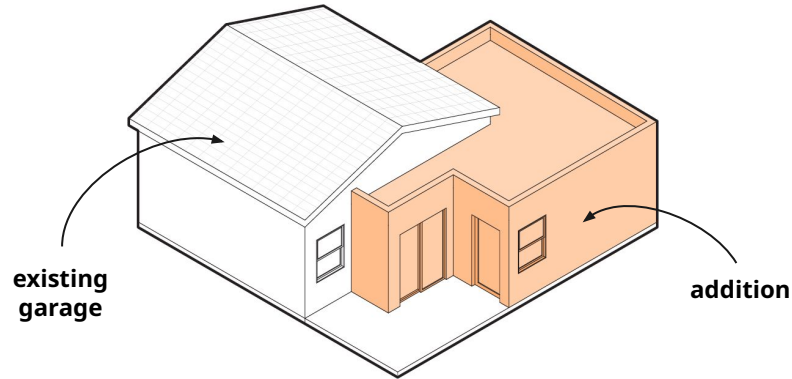
Option B 3D



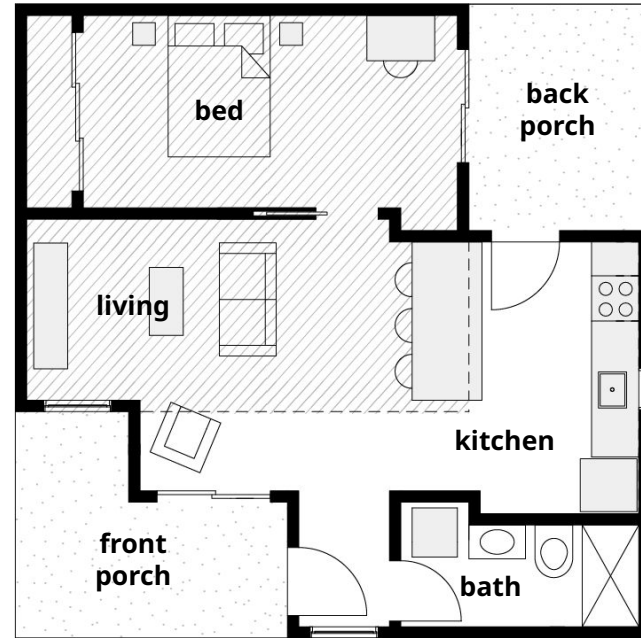
Option B Plan

Garage Standard Plan Option C

- 2 Car Garage + Addition ≈ **612 SQ FT**
- 1-bed, 1-bath, kitchen, living, washer/dryer, and porch space



Option C 3D



Option C Plan

When homeowners opt to use a Garage Standard Plan...

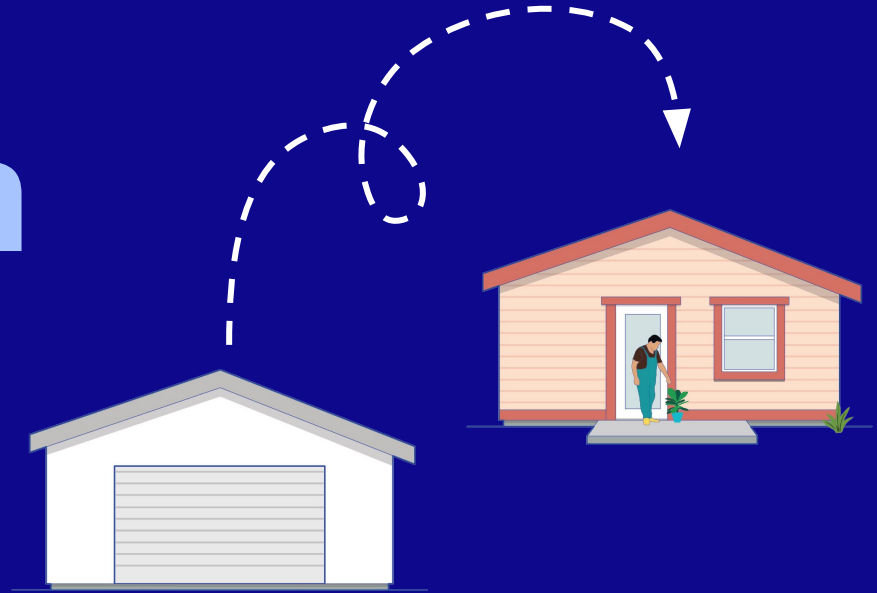
They receive several benefits, **including:**

- Reduced design fees; and
- An expedited design process and timeline.

They still need to:

- Complete the Garage Conversion Plan Set by hiring an architect or drafter; and
- Undergo the full permitting process and timeline.

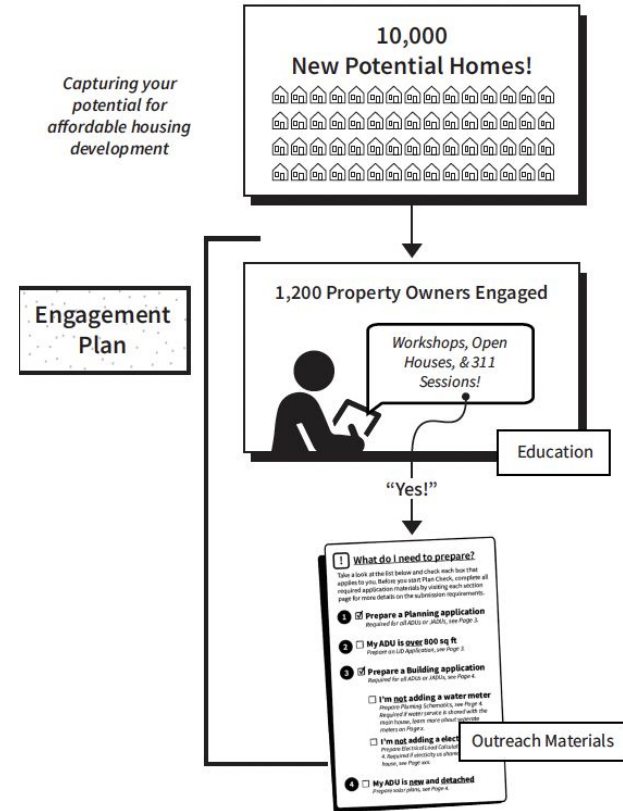
Garage Conversion Process



Community Engagement

We are in the process of **comprehensive engagement** that **educates, promotes, guides, and facilitates technical assistance of ADU development** to home owners:

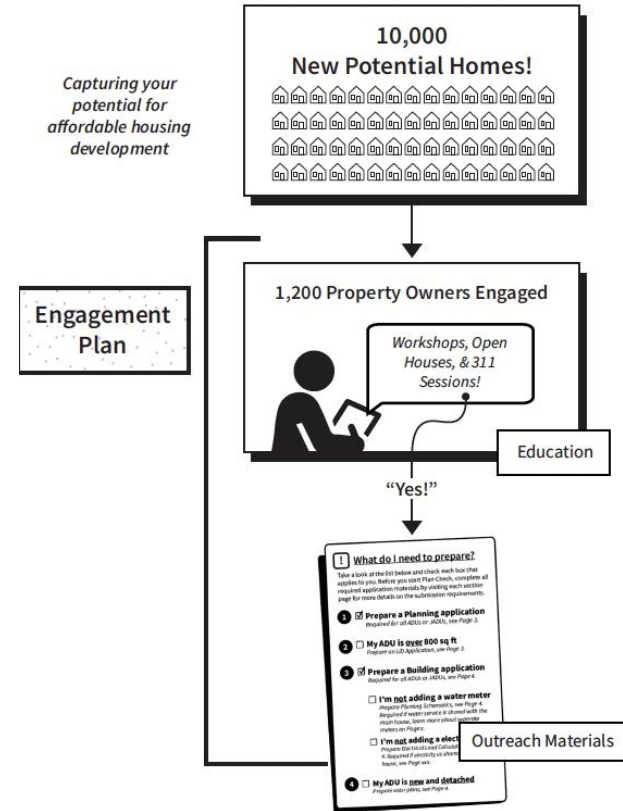
- **Informing** residents about the program through community meetings, website publications, and social media posts;
- **Providing** program materials such as program explainers and step-by-step guides for residents to learn about the program; and
- **Preparing** interested residents for permit applications with plan sets, checklists, and instructions.



Community Engagement Outcomes


Homeowners will get information to determine a recommended path for ADU development:

- Use traditional planning process for new ADU,
- Use the permit-ready plan for new ADU build, or
- Use a garage conversion standard plan.



Garage Conversion Standard Plans

Garage Conversion Standard Plans support homeowners interested in converting existing detached garages into ADUs. These pre-designed standard plans streamline the design process for garage conversion ADUs. Although they still need approval through the normal permitting process, these plans **save homeowners both the time and fees associated with the design process.**

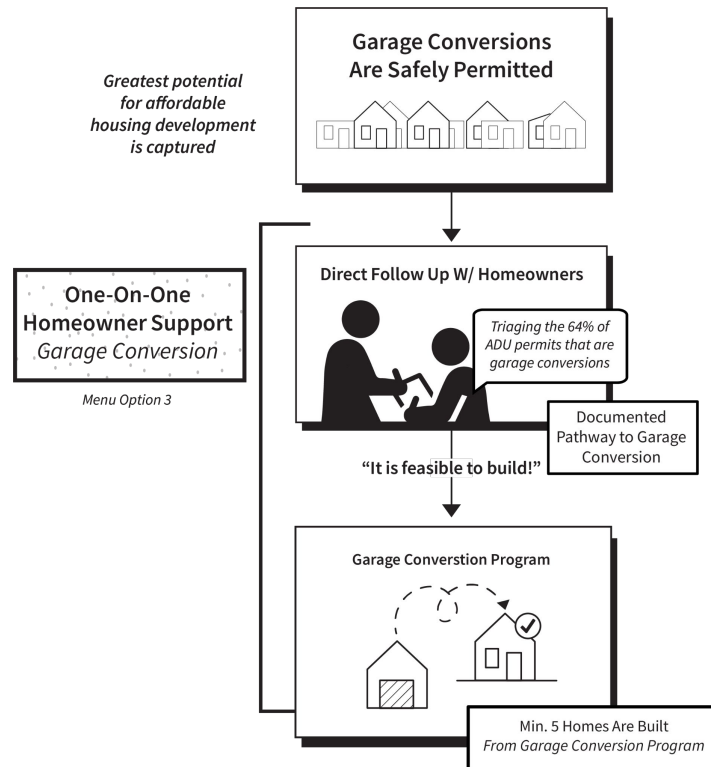
CITY OF SOUTH GATE			CITY OF SOUTH GATE	
Garage Conversion ADU Standard Plan Single Car Garage w/ New Addition			 GARAGE CONVERSION ADU STANDARD PLAN	
<p>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</p>				
PROJECT TEAM	DRAWING INDEX	BUILDING CODES	VICINITY PLAN	
<p>CITY The City of South Gate Community Development 8600 California Ave. South Gate, CA 90260</p> <p>DESIGNER Office Of: 3360 N San Fernando Rd #1024 Los Angeles, CA 90065 Phone: 213.282.8123 Email: office@officedoffice.com</p>	<p>G1.0 COVER SHEET G1.2 SITE PLAN A0.1 EXISTING FLOOR & ROOF PLANS A1.0 FLOOR PLAN A1.1 ROOF PLAN A1.2 ELECTRICAL PLAN A3.0 ELEVATIONS A3.1 ELEVATIONS A4.0 SECTIONS</p>	<p>2022 California Building Code (Volume I and II); 2022 California Residential Building Code; 2022 California Plumbing Code; 2022 California Electrical Code; 2022 California Mechanical Code; 2022 California Green Building Standards Code; South Gate Municipal Code, Title 9</p> <p>Create a Vicinity Map showing the general location of the property. Add the Project Information and the Owner Information. Sign the Agreement.</p>		
ABOUT THIS PLAN SET		HOLD HARMLESS AGREEMENT	PROJECT INFORMATION	OWNER INFORMATION
<p>The Garage Conversion ADU Standard Plan Program offers a selection of ADU plans for South Gate Residents. The plans have been created in partnership with the City of South Gate in order to help fast-track approvals. To learn more about the program visit the Garage Conversion ADU Standard Plan Program page at the City website. In order to complete the Plan Set, project specific information needs to be provided by the property owner throughout the plan set. Follow the steps in the accompanying Garage Conversion ADU Standard Plan Instructions document to complete the plans.</p> <p><i>How to Fill out this Cover Sheet</i></p> <ol style="list-style-type: none">1. Complete the OWNER INFORMATION and PROJECT INFORMATION portions.2. Legal Description and Zoning for the property can be found on the South Gate Property Information Portal.3. Provide applicant signature and date under the Hold Harmless Agreement.4. After completing the Site Sheet, follow the direction of the accompanying Garage Conversion ADU Standard Plan Instructions document.5. Complete all requirements in the Application Instructions, submit all materials to Planning@csouthgate.org.6. City staff will notify you once your application has been accepted and deemed complete.		<p>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) standard plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</p> <p>Applicant Signature</p> <p>_____</p> <p>Date</p> <p>_____</p>	<p>Project Address</p> <p>_____</p> <p>Legal Description</p> <p>_____</p> <p>Zone</p> <p>_____</p> <p>Required Parking No _____</p> <p>Occupant Group R-3 _____</p> <p>Construction Type Type VB _____</p> <p>ADU Size _____ SQ.FT.</p> <p>ADU Height 1 Story, '____' - '____'</p>	<p>CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION</p> <p>COVER SHEET</p> <p>G1.0</p>

One-On-One Planned Support Program

A small number of residents with the ability to convert their garage into an ADU will receive **one-on-one technical assistance** and support for using a Garage Conversion Standard Plan to take the project to permitting.

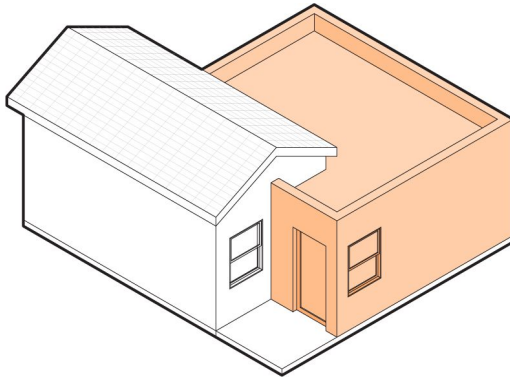
The (3) Garage Conversion Standard Plans developed for this program represent the most common garage size and typologies found in the City of South Gate:

- **Option A** - 1 Car Garage + 200 SQ FT
- **Option B** - 2 Car Garage
- **Option C** - 2 Car Garage + 200 SQ FT



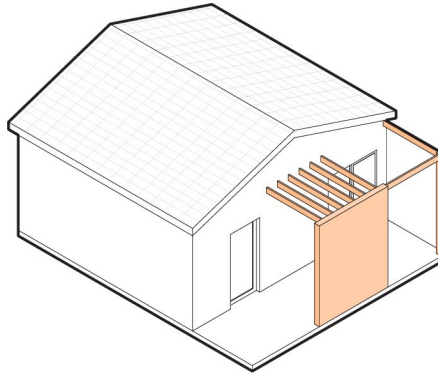
Garage Conversion Standard Plan Examples

Option A



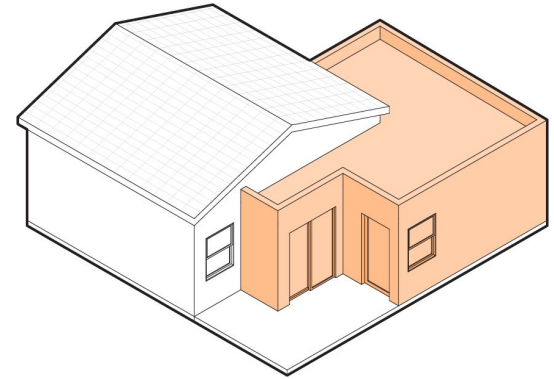
Single Stall Garage + Addition
≈ 408 SQ FT

Option B



2 Car Garage
≈ 438 SQ FT

Option C



2 Car Garage + Addition
≈ 612 SQ FT

Garage Conversion ADU Technical Assistance

Technical Assistance **will include** support with:

- Site feasibility
- Estimate cost and needed support
- Design an adaptation of selected Garage Conversion ADU Standard Plan
- Structural Drawings
- Submit plan to Plan Check
- Cover Plan Check fees
- Address Plan Check corrections to submit Plans to Permitting

Technical Assistance **will not include:**

- Contractor
- Money for construction

Using the
Technical Assistance
Program

Planning | varies

Get started and plan your project! In this step you'll begin to think about why you want to build another home, and who you want to work with to design and build your project.

Intake Process | less than 1 month

Complete the intake form and begin the process to participate in our Technical Assistance Program. Make sure you are ready to begin this investment.

Site Visit | 1 week

We will get in touch with eligible homeowners to schedule a site visit and confirm that the project is feasible.

Design | 1-5 months

After understanding your project goals, we will help you decide the type of Garage Conversion you want to build, estimate how much it might cost, secure financing, and hire professionals to help you design your project.

Technical Assistance

We will guide a selected group of homeowners through the permitting process.

Permitting | 3-6 months

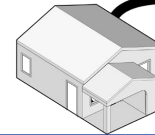
Once your design is complete you're ready to submit your project for plan check review. You'll submit for Planning and Building Division review, and submit for other agency approvals before obtaining a permit.

Construction | 5-12 months

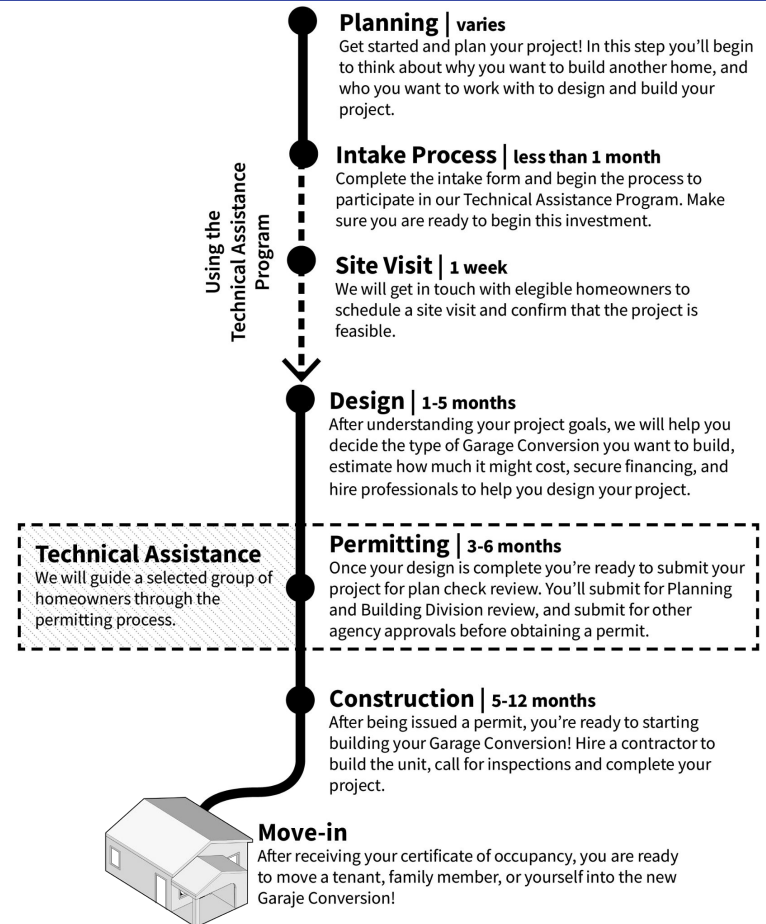
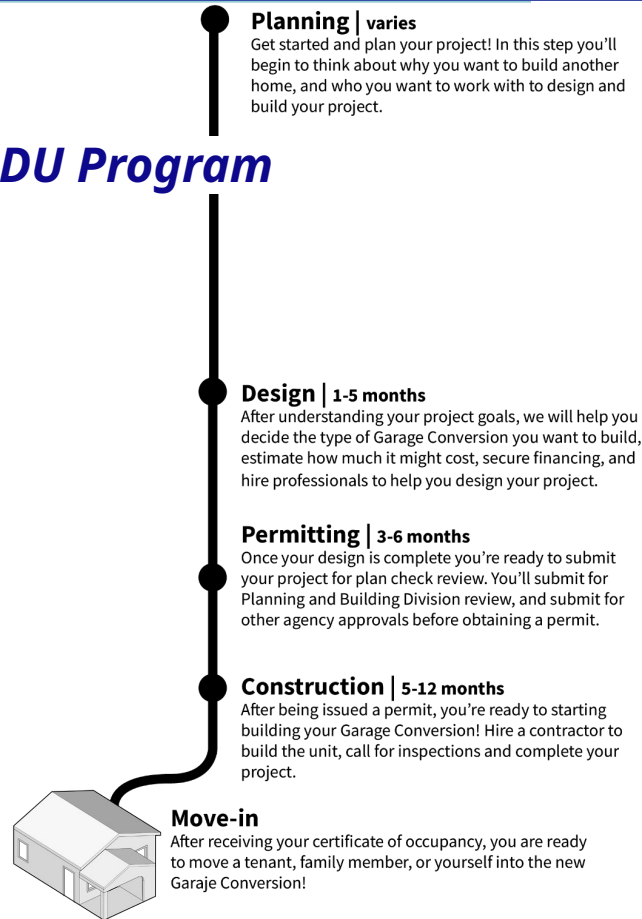
After being issued a permit, you're ready to start building your Garage Conversion! Hire a contractor to build the unit, call for inspections and complete your project.

Move-in

After receiving your certificate of occupancy, you are ready to move a tenant, family member, or yourself into the new Garage Conversion!



Difference in Process with ADU Program

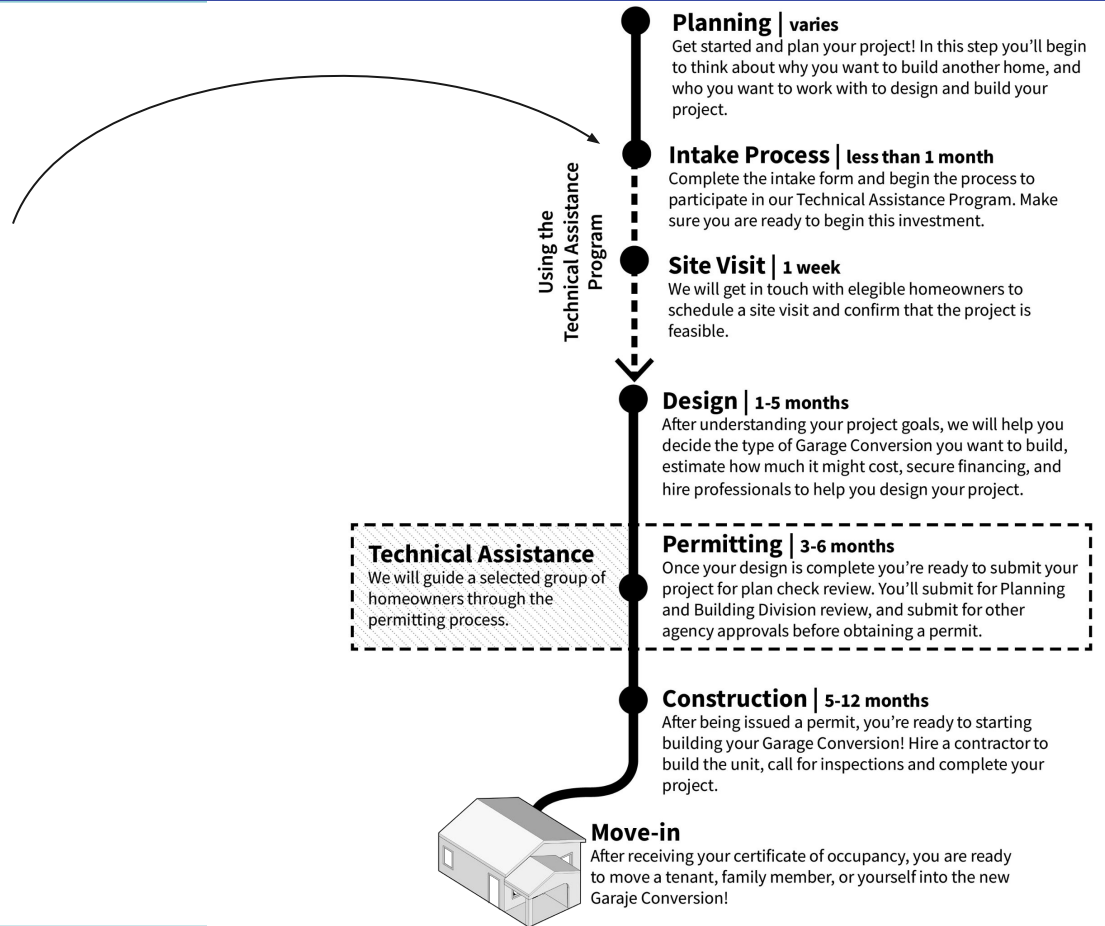


Next Steps for Participating

The next step for homeowners interested in technical assistance is to **complete the intake form to see if they qualify.** The form is:

- **Online**
- **English & Spanish**
- **22 Questions**
- **Some questions are optional**

To participate in the pilot technical assistance the form is due **by July 17.**



Intake Form Questions

Part 1: Homeowner Information

- First and Last Name
- Address
- Email address
- Phone number
- Are you a South Gate resident?
- Are you a homeowner in the City of South Gate?

Intake Form Questions

Part 2: Site Information

- How many units are on the property?
- How many existing square feet of residential?
- Lot size in square feet?
- Open space in the rear yard?
- Do you have an existing garage?
- Size of the garage in square feet?
- Are you interested in the Permit-Ready New Construction ADU Program or the Garage Conversion Standard Plan Program?
- What is the desired size of a potential ADU in square feet?
- Are you interested in Option A, B, C, other?
- Are all structures permitted?

Intake Form Questions

Part 3: Plans for ADU

- Would you be interested in renting to a Section 8 tenant?
- What are your intended plans for the ADU?
- Are you prepared to begin construction in the next 12 months?
- Do you have the financial resources and a builder ready to move forward with construction?
- This project is for conversions of unoccupied garages into ADUs. Are you interested in the legalization process for an unpermitted unit?
- Add any other comments or information that explains your ADU situation.

Intake Form



Upcoming Workshop

WANT TO BUILD AN ADU?

Join us for

Workshop 2: Introduction to South Gate's New ADU Programs

to learn how you can be a part of the new ADU Programs being developed by the City.

When: June 12th @ 6:00pm - 7:30pm

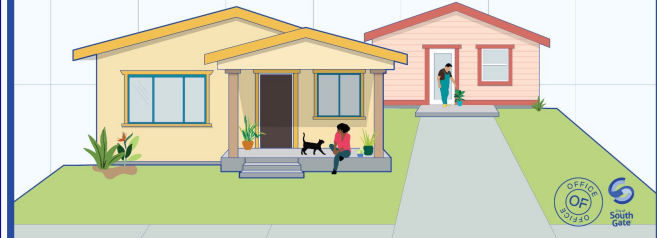
Spanish Session: 6:15pm - 6:45pm

English Session: 6:45pm-7:15pm

Where: South Gate Banquet Room,
4900 Southern Avenue, South Gate, CA 90280

**PRIMARY
HOUSE**

ADU



Final Workshop!

Workshop #4

JULY 10

6 -7:30pm

Banquet Room at South Gate Park

Questions?

**Contact us & fill out the intake
form if interested!**