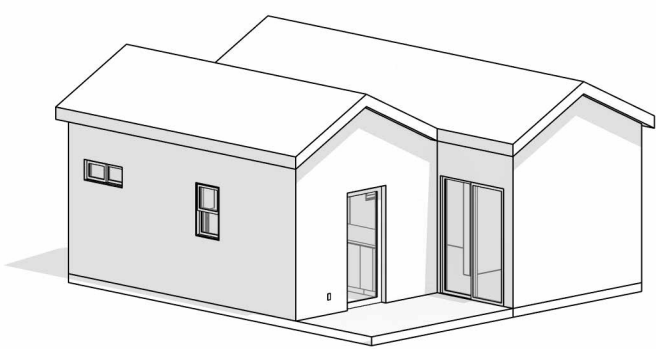


CITY OF SOUTH GATE

Garage Conversion ADU Standard Plan

Single Car Garage w/ New Addition



CITY OF SOUTH GATE

GARAGE CONVERSION
ADU STANDARD PLAN

The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.

PROJECT ADDRESS

ABOUT THIS PLAN SET

The Garage Conversion ADU Standard Plan Program offers a selection of ADU plans for South Gate Residents. The plans have been created in partnership with the City of South Gate in order to help fast-track approvals. To learn more about the program visit the Garage Conversion ADU Standard Plan Program page at the City website. In order to complete the Plan Set, project specific information needs to be provided by the property owner througout the plan set. Follow the steps in the accompanying Garage Conversion ADU Standard Plan Instructions document to complete the plans.

How to Fill out this Cover Sheet

1. Complete the OWNER INFORMATION and PROJECT INFORMATION portions. Legal Description and Zoning for the property can be found on the South Gate Property Information Portal.
2. Provide applicant signature and date under the Hold Harmless Agreement.
3. Create a Vicinity Map of the property and add to this sheet.
4. After completing the Title Sheet, follow the direction of the accompanying Garage Conversion ADU Standard Plan Instructions document.
5. Complete all requirements in the Application Instructions, submit all materials to Planninginfo@sogate.org.
6. City staff will notify you once your application has been accepted and deemed complete.

HOLD HARMLESS AGREEMENT

The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) standard plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.

Applicant Signature

Date

PROJECT INFORMATION

Project Address

Legal Description

Zone

Required Parking No

Occupant Group R-3

Construction Type Type VB

ADU Size _____ SQ FT

ADU Height 1 Story, ____' - ____"

OWNER INFORMATION

Name:

Address:

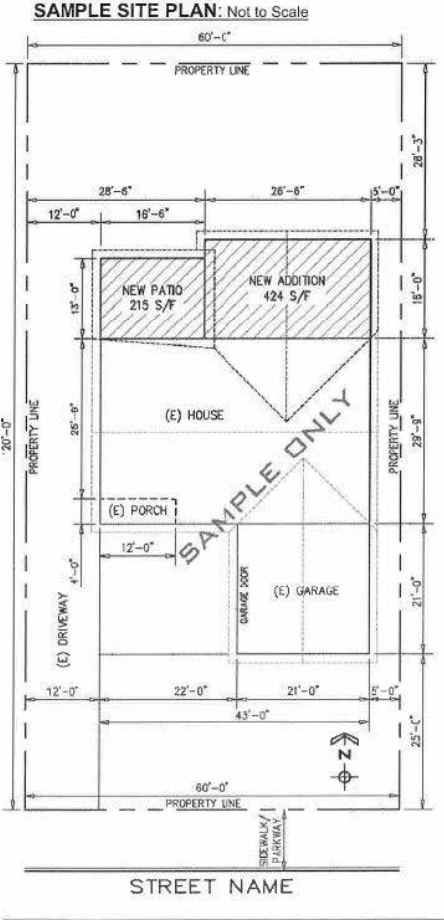
Phone:

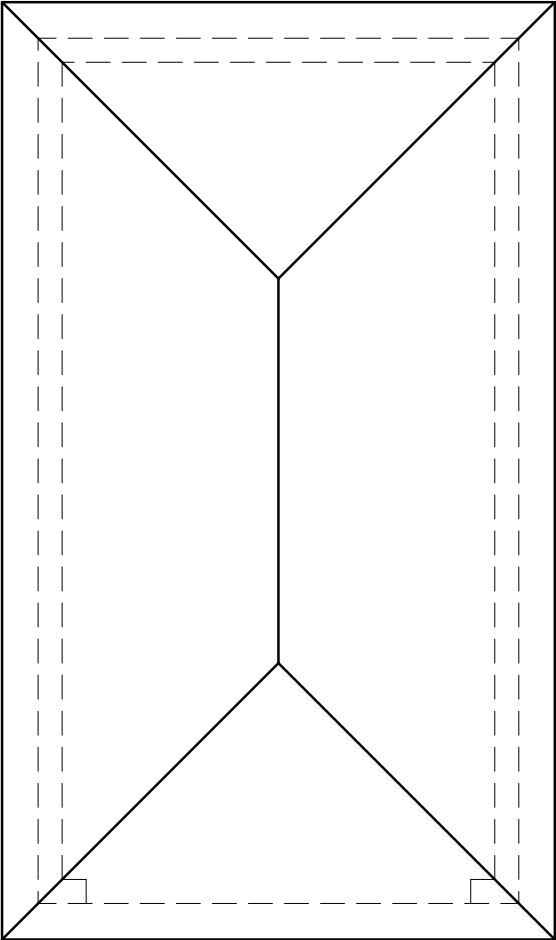
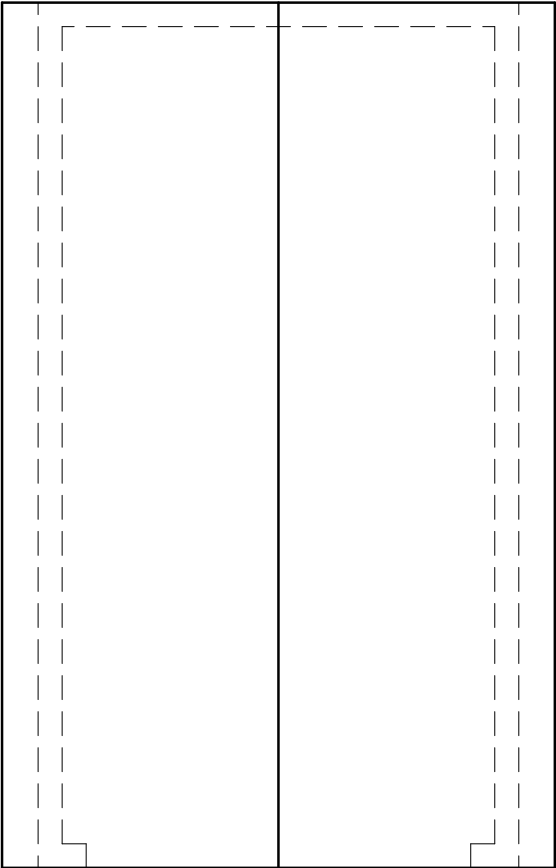
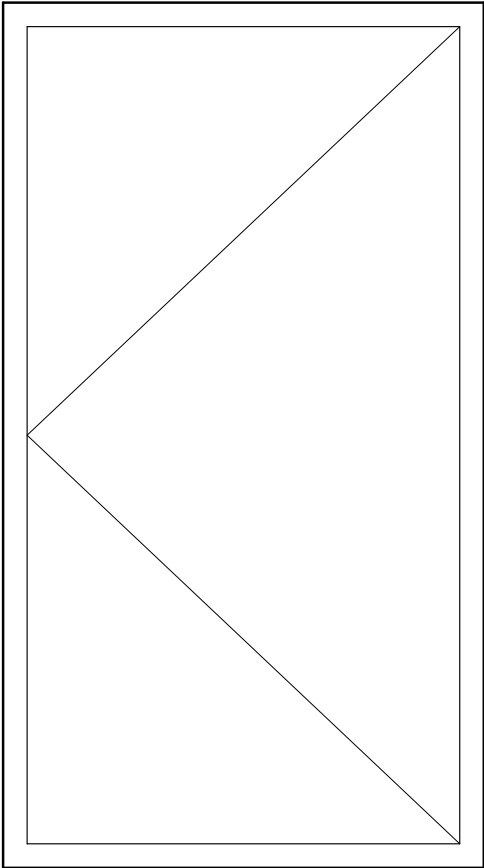
Email:

CONVERSION OF
SINGLE CAR GARAGE
W/ NEW ADDITION

COVER SHEET

G1.0

| | | | | | | | |
|---|--|---|--|-----------|--|---|--|
| <div>SITE PLAN REQUIREMENTS</div> <div><p>Use the following instructions to complete a Site Plan. All plans should be drawn and printed to scale.</p><div><div>A.</div><div>Draw and print to scale, preferred scale 1/16" per foot.</div></div><div><div>B.</div><div>Property Line (PL), fully dimensioned</div></div><div><div>C.</div><div>North Arrow and scale</div></div><div><div>D.</div><div>Label front, side and rear setbacks</div></div><div><div>E.</div><div>All existing structures and proposed structures</div></div><div><div>F.</div><div>Building separation dimensions</div></div><div><div>G.</div><div>Utilities: Show existing and proposed structures: i.e. A/C units, cable, utility or telephone poles on or over the property lines (all ground and roof-mounted utilities on-site shall be screened from view)</div></div><div><div>H.</div><div>Meters</div></div><div><div>I.</div><div>Fences/Walls: Show existing and/or proposed fences or walls; Identify height and materials</div></div><div><div>J.</div><div>Landscape: Label open space requirements per City Code; Show landscaped areas including planterbeds</div></div><div><div>K.</div><div>Driveway width</div></div><div><div>L.</div><div>Easements</div></div><div><div>M.</div><div>Parkway and Public right of way</div></div><div><div>N.</div><div>Private streets/alleys</div></div><div><div>O.</div><div>Pedestrian walkways</div></div></div> | | <div>AREA CALCULATIONS</div> <div><div>SITE AREA ANALYSIS</div><div><div>Lot Area:</div><div></div><div>SF</div></div><div><div>Existing Area</div><div>Dwelling:</div><div></div><div>SF</div></div><div><div>Garage:</div><div></div><div>SF</div></div><div><div>Covered Patio:</div><div></div><div>SF</div></div><div><div>Storage/Other:</div><div></div><div>SF</div></div><div><div>New Area</div><div>Addition:</div><div>206</div><div>SF</div></div><div><div>TOTAL</div><div></div><div>SF</div></div></div> <div><div>LOT COVERAGE ANALYSIS</div><div><div>Total Lot Coverage</div><div></div><div>SF</div></div><div><div>Total Lot Area</div><div></div><div>SF</div></div><div><div>Lot Coverage Ratio</div><div></div><div>%</div></div><div>(Lot Coverage / Lot Area)</div></div> | | | | <div>CITY OF SOUTH GATE</div> <div><div>GARAGE CONVERSION ADU STANDARD PLAN</div><div><p>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</p></div></div> <div><div>PROJECT ADDRESS</div><div></div><div></div></div> <div><div>OWNER INFORMATION</div><div><div>Name:</div><div></div></div><div><div>Address:</div><div></div></div><div><div>Phone:</div><div></div></div><div><div>Email:</div><div></div></div></div> <div><div>CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION</div><div><div>SITE PLAN</div><div>G1.2</div></div></div> | |
| <div>SITE PLAN SAMPLE</div> <div></div> | | <div>SITE PLAN NOTES</div> <div><div>A.</div><div>SITE PLAN MUST SHOW ALL EXISTING STRUCTURES</div></div> <div><div>B.</div><div>ALL STRUCTURES TO BE VERIFIED</div></div> <div><div>C.</div><div>ALL VIOLATIONS MUST BE ADDRESSED WHEN FOUND</div></div> <div><div>D.</div><div>SHOW ALL UTILITY POLES.</div></div> | | | | | |
| <div>LEGEND</div> <div><div><div></div><div>PROPERTY LINE (PL)</div></div><div><div></div><div>BUILDING OUTLINE</div></div><div><div>20'-0"</div><div>DIMENSION LINE</div></div><div><div></div><div>NORTH ARROW</div></div><div><div></div><div>LABELS</div></div></div> | | | | | | | |
| | | 1 | | SITE PLAN | | Drawing Scale: ____" = 1'-0" | |

| | | | |
|---|--|---|--|
| <div><div>HIP ROOF</div><div>GABLE ROOF</div><div>FLAT ROOF</div></div> <div><div><div>What shape of roof does your garage have?</div><div>Below are three common roof types: Flat Roof, Gable Roof, and Hip Roof. Identify your current garage roof and cross out the other two options on this sheet with a large 'X'.</div></div></div> | | <div>CITY OF SOUTH GATE</div> <div><div>GARAGE CONVERSION</div><div>ADU STANDARD PLAN</div></div> <div><div>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</div></div> | |
| | | <div>PROJECT ADDRESS</div> <div><div></div><div></div><div></div></div> | |
| | | <div>OWNER INFORMATION</div> <div><div>Name:</div><div></div><div>Address:</div><div></div><div></div><div>Phone:</div><div></div><div>Email:</div><div></div></div> | |
| | | <div>CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION</div> | |
| | | <div>EXISTING FLOOR & ROOF PLANS</div> <div>A0.0</div> | |

| | | |
|---|---------------------------|--------------|
| 2 | EXISTING GARAGE ROOF PLAN | 1/4" = 1'-0" |
|---|---------------------------|--------------|

| | | |
|---|----------------------------|--------------|
| 1 | EXISTING GARAGE FLOOR PLAN | 1/4" = 1'-0" |
|---|----------------------------|--------------|

Fill in the Exterior and Interior Width of your Garage

Does your garage have any existing windows or doors? Draw those in and add dimensions.

Fill in the Exterior and Interior Length of your Garage

(E) 1 CAR GARAGE

PORTION OF (E) WALL TO BE REMOVED

ANY (E) FINISH FLOOR TO BE REMOVED

(E) GARAGE DOOR TO BE REMOVED

1 FLOOR PLAN

1/4" = 1'-0"

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|--|
| CITY OF SOUTH GATE |
| GARAGE CONVERSION ADU STANDARD PLAN |
| <i>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</i> |
| PROJECT ADDRESS |
| |
| OWNER INFORMATION |
| Name: |
| Address: |
| Phone: |
| Email: |
| CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION |
| FLOOR PLAN |
| A1.0 |

| | | | | |
|---|-----------|--|--|---|
| <div>SOLAR PANEL LOCATION</div> <div><div><div><div>A. MIN 2.66 kw SYSTEM REQUIRED</div><div>B. DEDICATED SOLAR ZONE AREA LOCATED BETWEEN 110 AND 270 DEGREES OF TRUE NORTH - USE AREA A OR B AS NEEDED.</div><div>C. NO OBSTRUCTIONS LOCATED WITHIN THE SOLAR ZONE.</div><div>D. PROVIDE MINIMUM 1'-6" FIRE FIGHTER ACCESS.</div></div><div><div><div>N</div><div>270</div><div>110</div></div><div>SOLAR ZONE</div></div></div><div>NOTES</div></div> | | <div><div><div><div><div><div>SOLAR PANEL LOCATION TBD BY ORIENTATION OF BUILDING ON SITE</div><div>100 SF DEDICATED SOLAR ZONE (AREA A)</div><div>SLOPE</div></div><div>LINE OF EXISTING ROOF</div><div>100 SF DEDICATED SOLAR ZONE (AREA B)</div><div>SLOPE</div></div><div><div>SLOPE</div><div>SLOPE</div></div></div></div></div> | | <div>CITY OF SOUTH GATE</div> <div><div>GARAGE CONVERSION ADU STANDARD PLAN</div><div><div><div>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</div></div></div><div>PROJECT ADDRESS</div><div><div></div><div></div></div><div>OWNER INFORMATION</div><div><div>Name:</div><div>Address:</div><div>Phone:</div><div>Email:</div></div><div>CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION</div><div>ROOF PLAN</div><div>A1.1</div></div> |
| 1 | ROOF PLAN | 1/4" = 1'-0" | | |

| | | | |
|---|-----------------|---|--|
| <div>ELECTRICAL NOTES</div> <div>A. DOCUMENTS - ELECTRICAL FLOOR PLAN IS NOT INTENDED TO REPRESENT A COMPLETE SET OF ELECTRICAL PLANS.</div> <div>B. ENGINEERING - ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL WORK. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL LAWS AND APPLICABLE CODES. VERIFY ELECTRICAL REQUIREMENTS OF ALL APPLIANCES WITH MANUFACTURERS' RECOMMENDATIONS. LOCATE ELECTRICAL RECEPTACLES AND CONNECTIONS PER MANUFACTURERS' RECOMMENDATIONS.</div> <div>C. SOFFITS - ALL SOFFITS AND CEILINGS ARE DIMENSIONED TO FINISH FACE UNLESS OTHERWISE NOTED.</div> <div>D. OUTLETS - OUTLETS TO BE MOUNTED 1'-0" AFF FROM C.L. UNLESS OTHERWISE NOTED</div> <div>E. LIGHT SWITCHES - LIGHT SWITCHES TO BE MOUNTED 3'-6" AFF FROM C.L. UNLESS OTHERWISE NOTED.</div> | | <div>CITY OF SOUTH GATE</div> <div><div>GARAGE CONVERSION</div><div>ADU STANDARD PLAN</div></div> <div><div>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</div></div> <div><div>PROJECT ADDRESS</div><div></div><div></div></div> <div><div>OWNER INFORMATION</div><div><div>Name:</div><div></div><div>Address:</div><div></div><div>Phone:</div><div></div><div>Email:</div><div></div></div></div> <div><div>CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION</div><div><div>ELECTRICAL PLAN</div><div>A1.2</div></div></div> | |
| <div><div>LEGEND</div><div><div><div>SD CMD</div>CARBON MONOXIDE DETECTOR & SMOKE DETECTOR</div><div><div></div>EXHAUST FAN, MIN. 50 CFM</div><div><div></div>ELECTRICAL PANEL</div><div><div></div>OUTLET</div><div><div></div>GFI OUTLET</div><div><div></div>LIGHT SWITCH</div><div><div></div>CEILING MOUNTED LIGHT FIXTURE</div><div><div></div>PENDANT LIGHT FIXTURE</div><div><div></div>INTERIOR WALL MOUNTED SCONE</div><div><div></div>EXTREIOR WALL MOUNTED SCONE</div></div></div> | | <div><p>The electrical floor plan shows a rectangular layout. In the top left, there is a carbon monoxide detector (SD CMD) and a ceiling-mounted light fixture. Below it, a kitchenette area contains a sink, stove, and refrigerator. To the right of the kitchenette is a bathroom with a toilet and a shower. At the bottom is a bedroom with a bed. The plan includes various outlets, switches, and light fixtures. Dimensions for outlet and switch placement are provided: 2'-6" TYP. for outlets and 4'-9" TYP. for switches. A pendant light fixture is shown in the living area.</p></div> | |
| 1 | ELECTRICAL PLAN | 1/4" = 1'-0" | |

| | | | | | |
|-------|--|---|--|--|--|
| NOTES | | | | CITY OF SOUTH GATE | |
| 1. x | | <div><div><div><div><div></div><div>T.O. ROOF</div><div>' - "</div></div><div><div></div><div>T.O. PLATE</div><div>' - "</div></div><div><div></div><div>HEADER HEIGHT</div><div>6' - 8"</div></div><div><div></div><div>F.F.</div><div>0' - 0"</div></div></div><div><div><div>Fill in the Height of your Garage</div><div>Fill in the Height of the Top Plate of your Garage</div></div><div><div><div><div><div>W3</div><div></div></div><div>5' - 6"</div></div><div><div><div>W2</div><div></div></div><div>3' - 8"</div></div><div><div><div>D2</div><div></div></div><div>EXT. LIGHT FIXTURE</div></div><div><div>CONCRETE SLAB AND FOOTING</div></div></div><div>FINISH GRADE</div></div></div></div></div> | | <div><div><div><div><div></div><div>Garage Conversion ADU Standard Plan</div></div><div><div>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</div></div></div></div></div> | |
| 2 | | ELEVATION 2 | | 1/4" = 1'-0" | |
| | | <div><div><div><div><div></div><div>T.O. ROOF</div><div>' - "</div></div><div><div></div><div>T.O. PLATE</div><div>' - "</div></div><div><div></div><div>HEADER HEIGHT</div><div>6' - 8"</div></div><div><div></div><div>F.F.</div><div>0' - 0"</div></div></div><div><div><div>Fill in the Height of your Garage</div><div>Fill in the Height of the Top Plate of your Garage</div></div><div><div><div><div><div></div><div>EXT. LIGHT FIXTURE</div></div><div><div><div>D1</div><div></div></div></div><div><div>CONCRETE SLAB AND FOOTING</div></div></div><div>FINISH GRADE</div></div></div></div></div></div> | | | |
| 1 | | ELEVATION 1 | | 1/4" = 1'-0" | |

Garage Conversion ADU Standard Plan

The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.

PROJECT ADDRESS

OWNER INFORMATION

Name:

Address:

Phone:

Email:

CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION

ELEVATIONS

A2.0

| | | | | | |
|-------|--|--|--|--|--|
| NOTES | | | | CITY OF SOUTH GATE | |
| 1. x | | <div><div><div><div><div><div></div><div>T.O. ROOF</div><div>' - "</div></div><div><div></div><div>T.O. PLATE</div><div>' - "</div></div><div><div></div><div>HEADER HEIGHT</div><div>6' - 8"</div></div><div><div></div><div>F.F.</div><div>0' - 0"</div></div></div><div><div><div>Fill in the Height of your Garage</div><div>Fill in the Height of the Top Plate of your Garage</div></div><div><div><div><div><div></div><div>EXT. LIGHT FIXTURE</div><div>(D1)</div></div><div>CONCRETE SLAB AND FOOTING</div></div></div></div></div></div></div></div> | | <div><div><div><div><div></div><div>Garage Conversion ADU Standard Plan</div></div><div><div>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</div></div></div></div></div> | |
| 2 | | ELEVATION 4 | | 1/4" = 1'-0" | |
| 1 | | ELEVATION 3 | | 1/4" = 1'-0" | |

CITY OF SOUTH GATE

Garage Conversion ADU Standard Plan

The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.

PROJECT ADDRESS

OWNER INFORMATION

Name:

Address:

Phone:

Email:

CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION

ELEVATIONS

A2.1

| | | | |
|-----------|-----------|--|--|
| NOTES | | CITY OF SOUTH GATE | |
| 1. x | | GARAGE CONVERSION ADU STANDARD PLAN | |
| | | <p>The applicant ("applicant") has requested the use of the City of South Gate Garage Conversion Accessory Dwelling Unit (ADU) Standard Plans ("construction documents") at the property indicated below. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its elected officials, officers, employees and agents, and the engineers and/or architects who prepared the construction documents from any and all claims, liabilities, suits, and demands on account of injury, damage, or loss to persons or property, including injury, death, or economic losses, arising out of the use of these construction documents.</p> | |
| | | PROJECT ADDRESS | |
| | | <div></div> <div></div> <div></div> | |
| | | OWNER INFORMATION | |
| | | Name: <div></div> | |
| | | Address: <div></div> <div></div> | |
| | | Phone: <div></div> | |
| | | Email: <div></div> | |
| | | CONVERSION OF SINGLE CAR GARAGE W/ NEW ADDITION | |
| | | SECTIONS | |
| | | A3.0 | |
| 1 | SECTION 1 | 1/4" = 1'-0" | |

