

CITY OF SOUTH GATE

Permit Ready ADU

SCOPE: A single story new 1-bedroom 1-bath
460 sq ft Accessory Dwelling Unit.

ABOUT THIS PLAN SET

The Permit Ready ADU Plans program offers a selection of ADU plans for South Gate Residents. The plans have already gone through part of the plan check process in order to help fast-track approvals. To learn more about the program visit the Pre-Approved ADU Plan Program page at the City website. In order to complete the Plan Set, project specific information needs to be provided by the property owner on the Title Sheet (Sheet A0.0). Follow the steps below to complete the "Title Sheet".

How to Fill out this Title Sheet

- Complete the OWNER INFORMATION in Section 1, and PROJECT INFORMATION in Section 2. Legal Description and Zoning can be found on the South Gate Property Information Portal.
- Provide FLOOR AREA CALCULATIONS in Section 3.
- Place a VICINITY MAP in Section 4.
- Create and Place a Site Plan in OWNER PROVIDED SITE PLAN in Section 5. Further instructions on Site Plan requirements can be found under SITE PLAN REQUIREMENTS.
- After completing the Title Sheet, and all requirements in the Application Instructions, submit all materials to Planninginfo@sogate.org.
- City staff will notify you once your application has been accepted and deemed complete.

HOLD HARMLESS AGREEMENT

The applicant ("Owner") has requested the use of the City of South Gate Accessory Dwelling Unit (ADU) pre-approved plans ("Plans") at the property indicated above. By accepting and/or using the Plans, Owner agrees to and does hereby release, hold harmless, and indemnify the City, its officials, officers, employees, volunteers, agents, and the engineers and/or architects who prepared the Plans (collectively, the "Released Parties"), free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, direct or consequential damage or injury of any kind, in law or equity, to property or persons, in any manner arising out of, pertaining to, related to, or incident to Owner's use of the Plans (collectively, the "Claims").

Applicant Signature _____ Date _____

OWNER INFORMATION

1

FLOOR AREA CALCULATIONS

3

Name _____

Lot Area _____

Address _____

Existing Buildings

Dwelling _____

Garage _____

Covered Porch _____

New Buildings

ADU 414 SQ FT

Covered Porch 46 SQ FT

Total Area
(New Buildings + Existing Buildings = Total Area)

460 SQ FT + _____ = _____

Convered Percentage
(Total Area/Lot Area) _____

PROJECT INFORMATION

2

Project Address _____

Legal Description _____

Zone _____

Required Parking No

Occupant Group R-3

Construction Type Type VB

ADU Size 460 SQ FT

ADU Height 1 Story, 12' - 2"

DEFERRED SUBMITTALS

4

The following items are to be provided at time of submission:

- Title 24 Report
- Geotechnical Report
- Isometric Gas Line (for any gas appliances and/or water heaters) unless a dedicated gas line will be provided

The following items are not included in this scope of work and are to be submitted as Deferred Submittals:

- Sprinklers systems as required
- Photovoltaic System

PROJECT TEAM

CITY

The City of South Gate

Community Development
8650 California Ave,
South Gate, CA 90280

DESIGNER

Office of: Office

1370 N St Andrews Place #221
Los Angeles, CA 90068

Phone. 213.282.8123
Email. office@officeoffice.com

ENGINEER

NOUS Engineering

5050 Eagle Rock Blvd,
Los Angeles, CA 90041

Email. hello@nousengineering.com

BUILDING CODES

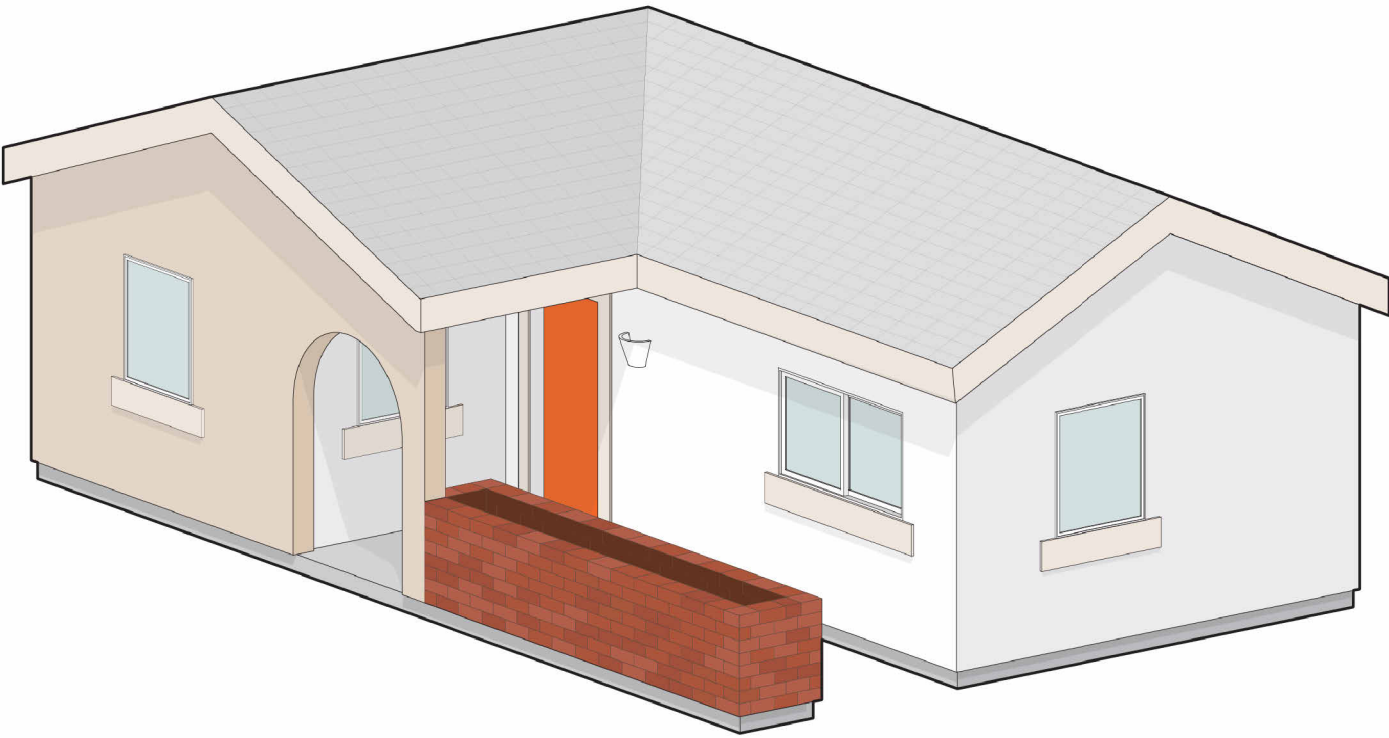
2022 California Building Code (Volume I and II);
2022 California Residential Building Code;
2022 California Plumbing Code;
2022 California Electrical Code;
2022 California Mechanicla Code;
2022 California Energy Code
2022 California Green Building Standards Code;
South Gate Municipal Code, Title 9

DRAWING INDEX

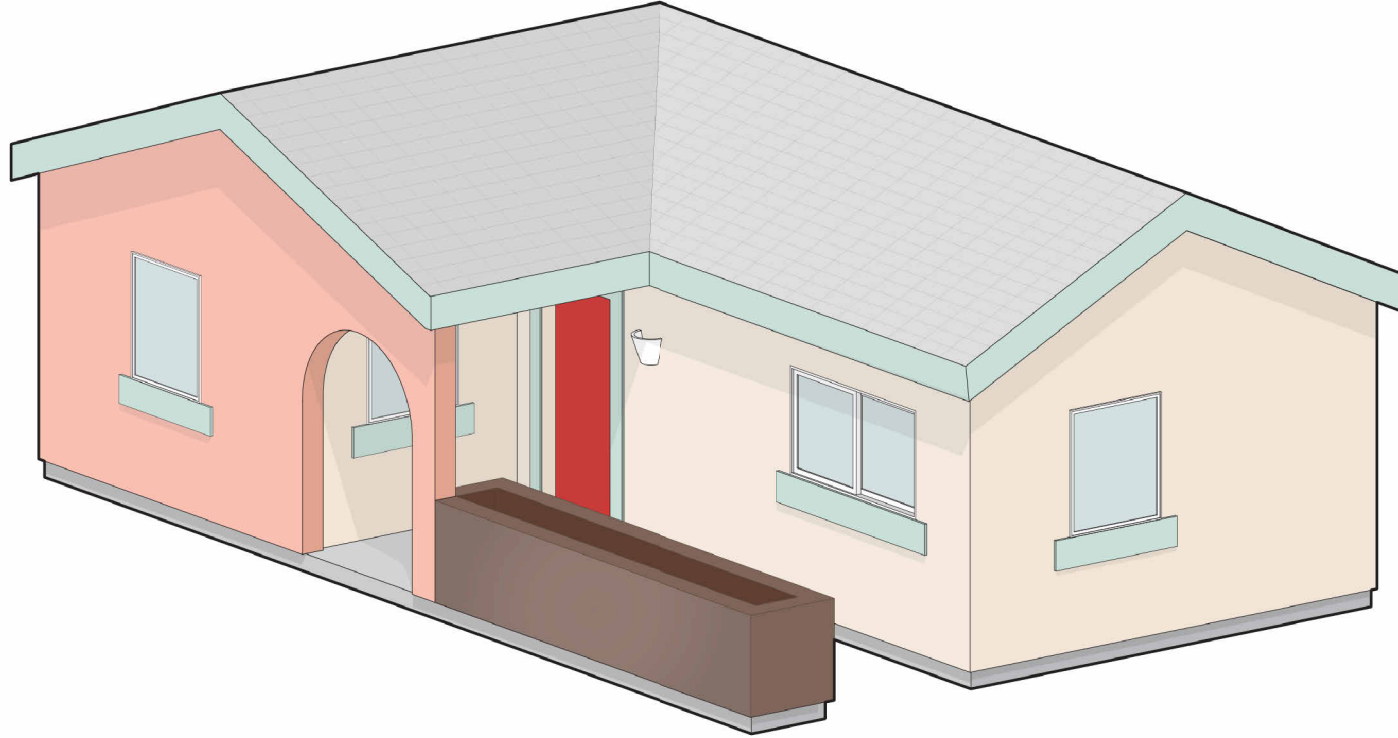
A0.0 TITLE SHEET
A0.1 SITE PLAN
A0.3 GREEN BUILDING STANDARDS CODE
A0.4 GREEN BUILDING STANDARDS CODE
A1.0 PLANS
A2.0 ELEVATIONS
A2.1 MATERIAL SHEET
S0.0 GENERAL NOTES
S0.1 TYPICAL CONCRETE DETAILS
S0.2 TYPICAL WOOD DETAILS
S0.3 TYPICAL WOOD DETAILS
S1.0 FOUNDATION & FRAMING PLANS
S2.0 BUILDING SECTIONS & ELEVATIONS

COLOR PALETTE OPTIONS* (FOR ILLUSTRATIVE PURPOSES ONLY)

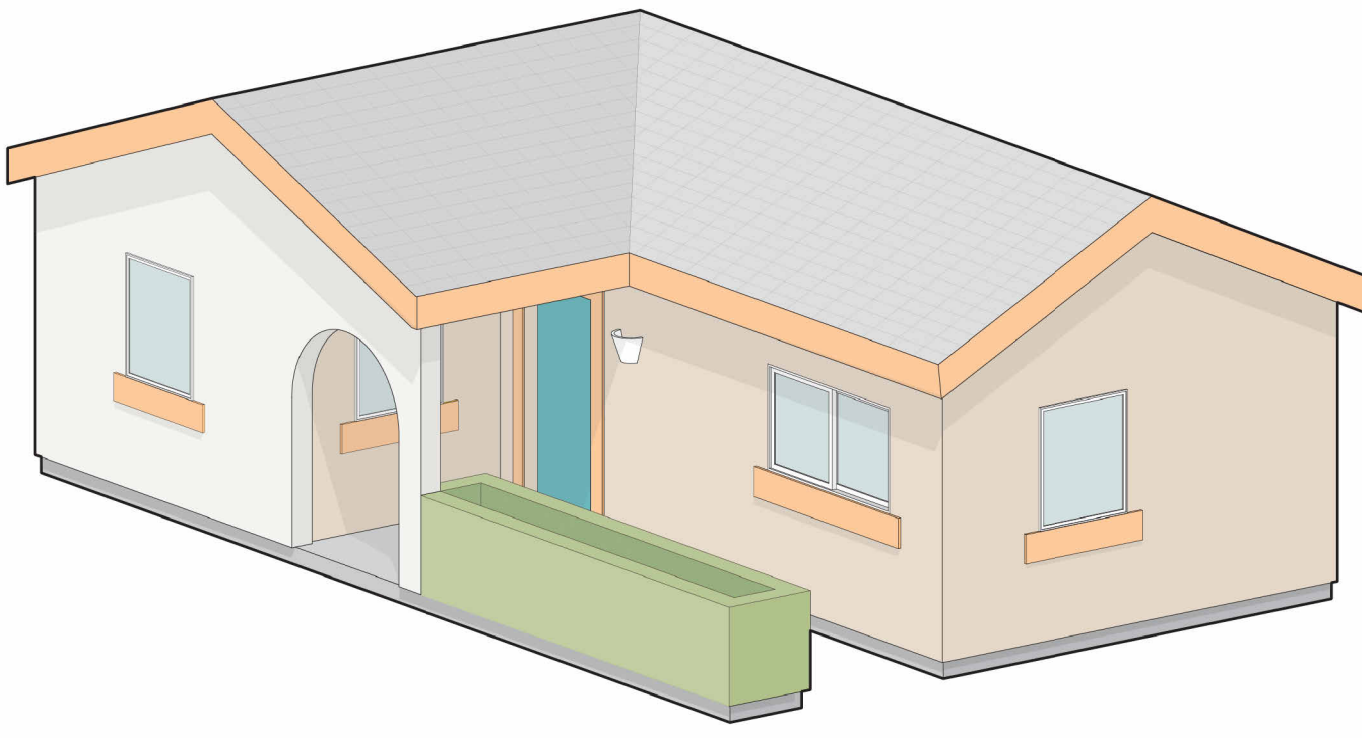
* Color Options are Suggestions Only



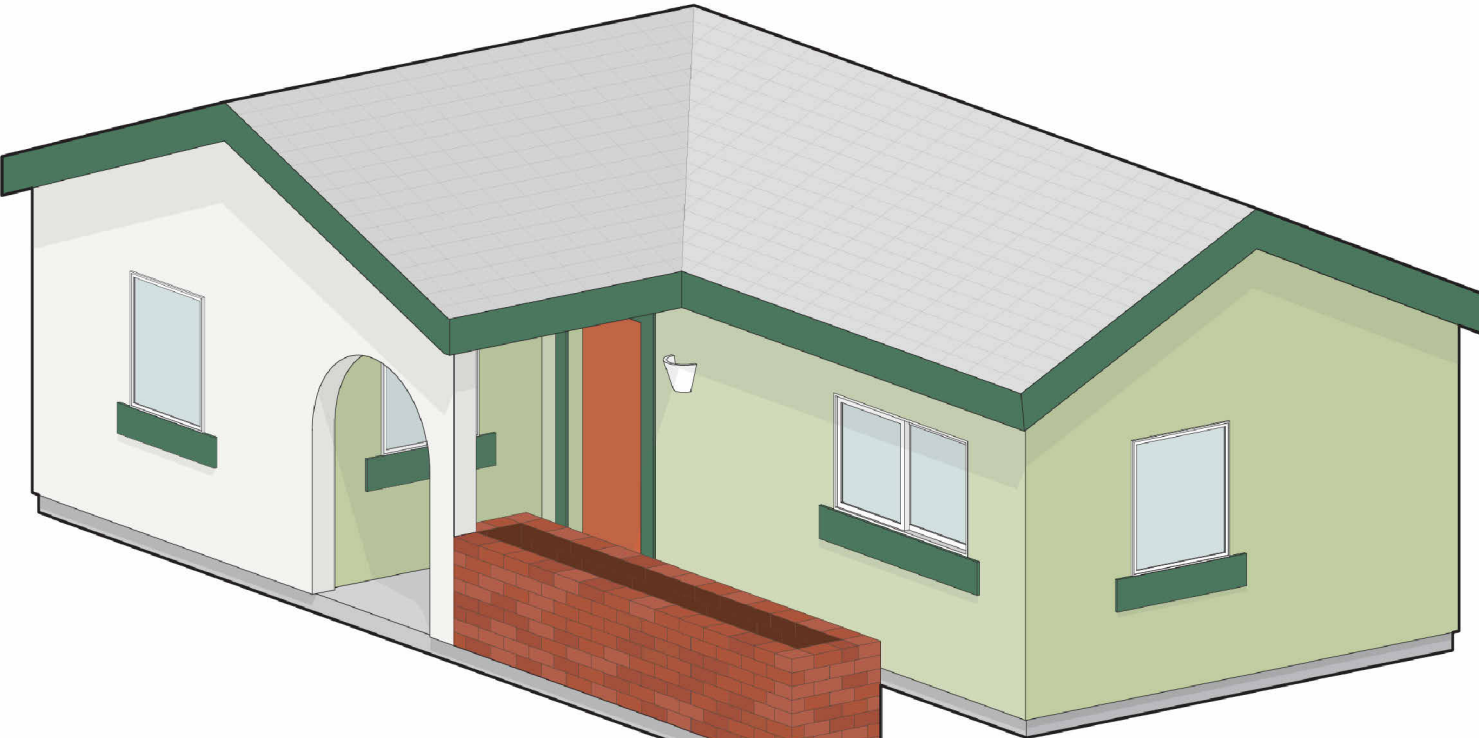
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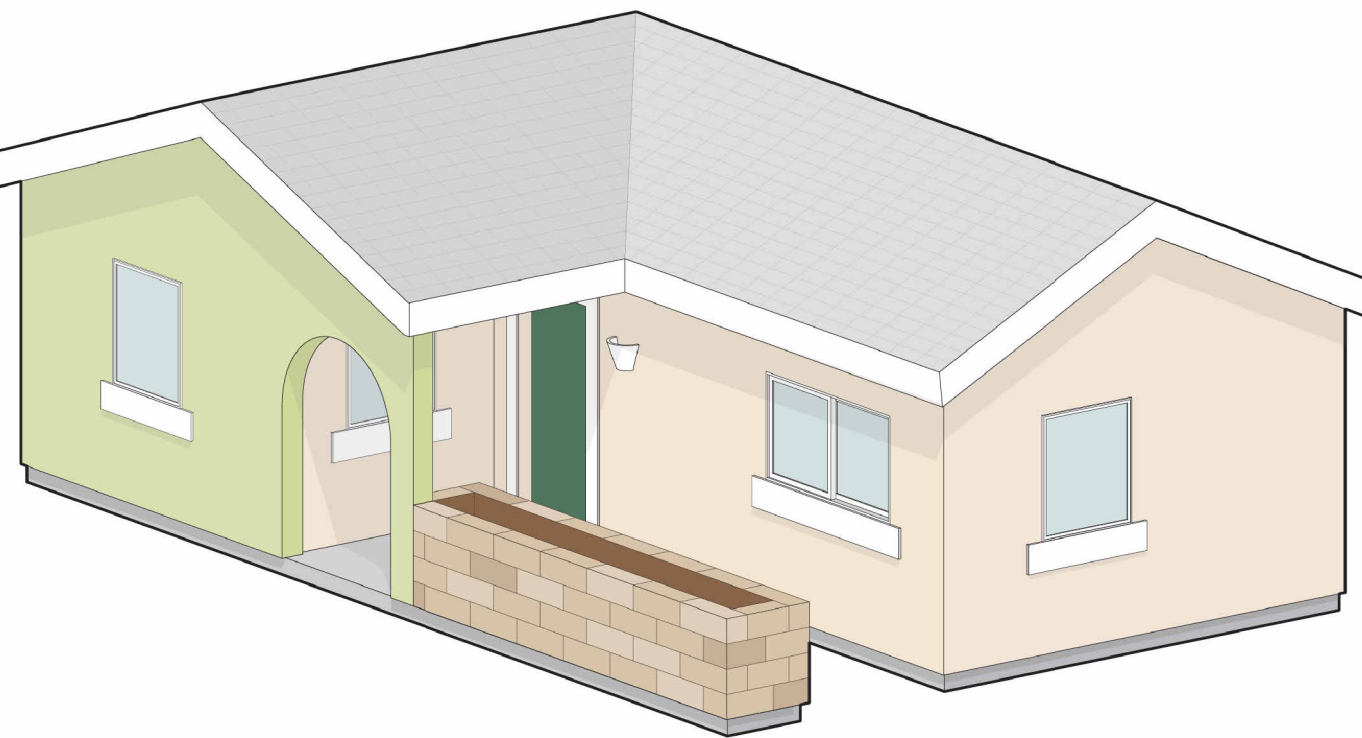
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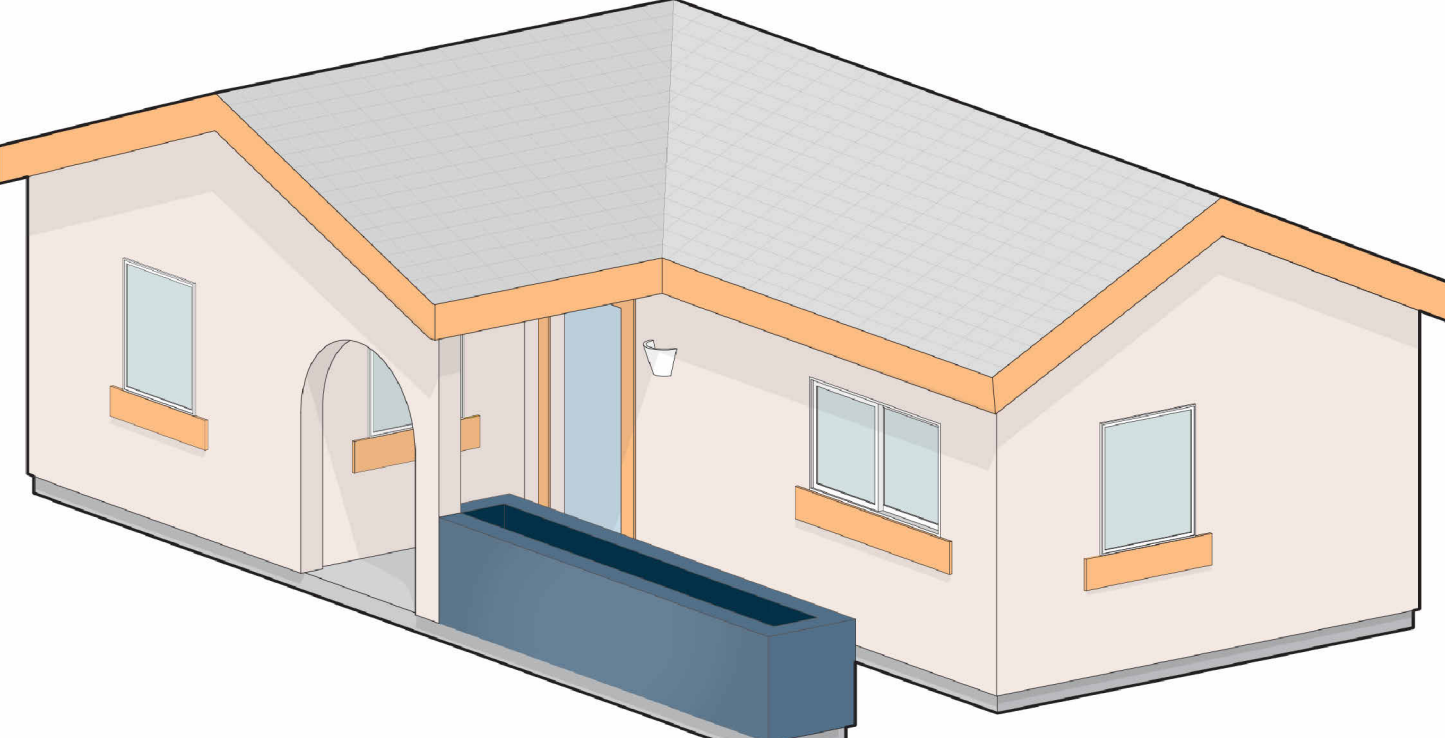
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2



4



3

CITY OF SOUTH GATE

PERMIT READY ADU PLAN SET

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True North Compliance Services, Inc.

PLAN REVIEW APPROVAL

THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE JURISDICTION PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION. BY Mohammed Afsaneh DATE: 12/5/2024

THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY. OCCUPANCY OF STRUCTURES IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

TITLE SHEET

A0.0

SITE PLAN REQUIREMENTS	OWNER PROVIDED SITE PLAN	5	SETBACK LIMITATION REQUIREMENTS
<p>Use the following instructions to complete a Site Plan. All plans should be drawn and printed to scale.</p> <p>A. Draw and print to scale, preferred scale 1/8" per foot.</p> <p>B. Property Line (PL), fully dimensioned</p> <p>C. North Arrow and scale</p> <p>D. Label front, side and rear setbacks</p> <p>E. All existing structures and proposed structures</p> <p>F. Building separation dimensions</p> <p>G. Utilities: Show existing and proposed structures: i.e. A/C units, cable, utility or telephone poles on or over the property lines (all ground and roof-mounted utilities on-site shall be screened from view)</p> <p>H. Meters</p> <p>I. Fences/Walls: Show existing and/or proposed fences or walls; Identify height and materials</p> <p>J. Lanscape: Label open space requirements per City Code; Show landscaped areas including planterbeds</p> <p>K. Driveway width</p> <p>L. Easements</p> <p>M. Parkway and Public right of way</p> <p>N. Private streets/alleys</p> <p>O. Pedestrian walkways</p>	Insert Site Plan Here		<p>All New Construction ADUs must abide by the following side and rear yard setbacks and building separation requirements.</p> <p>Side Yard Setback: 5' - 0"</p> <p>Rear Yard Setback: 5' - 0"</p> <p>Building Separation: 10' - 0"</p>
SITE PLAN SAMPLE			UTILITY CONNECTIONS
			<p>WATER METER</p> <p>Homeowners to select which senario best fits their project.</p> <p><input type="checkbox"/> Existing Meter to Remain</p> <p><input type="checkbox"/> Upgrade Water Meter</p> <p><input type="checkbox"/> Install New Water Meter</p> <p>ELECTRICAL PANEL</p> <p>Homeowners to select which senario best fits their project.</p> <p><input type="checkbox"/> Upgrade the Electrical Panel</p> <p>Provide Load Calculations & Specify Size: _____</p> <p><input type="checkbox"/> Install New Electrical Panel</p> <p>Specify Size: _____</p> <p><input type="checkbox"/> Existing Electrical Panel to Remain</p> <p>Location of the electrical panel must be accessible to both the main dwelling and ADU. Show on Site Plan.</p>
DRAWING LEGEND			SPRINKLERS
<p>---•--- PROPERTY LINE (PL)</p> <p>———— BUILDING OUTLINE</p> <p>20'-0" DIMENSION LINE</p> <p>⊙ NORTH ARROW</p> <p>LABELS</p>			<p>Is the existing Primary Dwelling sprinklered?</p> <p><input type="checkbox"/> Yes, Sprinklered <input type="checkbox"/> No, Not Sprinklered</p> <p>Fire sprinkler system to be part of athe deferred submittal, where the option of sprinkler system above is specified as (Yes, spinklered).</p>
SITE PLAN NOTES			
<p>A. SITE PLAN MUST SHOW ALL EXISTING STRUCTURES</p> <p>B. STRUCTURES TO BE VERIFIED</p> <p>C. ALL VIOLATIONS MUST BE ADDRESSED WHEN FOUND</p> <p>D. ROOF PROJECTIONS AND EAVES TO BE MIN. 4'-6" FROM PROPERTY LINE</p> <p>E. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE BUILDING AND ADJACENT PROPERTIES AND TOWARDS THE PUBLIC WAY. THE GRADE SHALL FALL NOT FEWER THAN 6" WITHIN THE FIRST 10 FEET.</p> <p>F. ADU PERMIT READY PLANS SHALL NOT BE USED WHERE POOLS ARE LOCATED ON THE PROPERTY.</p>		<p>NORTH ARROW</p>	

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BY: *Mohammed Haneef* DATE: 12/5/2024

THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES, AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY. OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

Y	=	YES
N/A	=	NOT APPLICABLE
RESPON. PARTY	=	RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

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A0.3

Y = YES
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By Mohamed Ahsan Date: 12/5/2024

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1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. Moisture readings shall be performed as well as floor framing with documentation.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

WALL IDENTIFIER	ASSEMBLY DETAILS
1	<p><u>EXTERIOR STUCCO ON 2X WD STUD WALL</u></p> <p>3 LAYERS OF STUCCO ON METAL LATH WITH TEXTURE APPROVED BY ARCHITECT/OWNER</p> <p>2-LAYERS OF GRADE D PAPER</p> <p>PLYWOOD SHEATHING, SEE STRUCTURAL</p> <p>WOOD STUD FRAMING @ 16" O.C. W/ BATT INSULATION PER T-24</p> <p>GYPSUM WALL BOARD</p>
2	<p><u>EXTERIOR STUCCO ON 2X WD STUD WALL</u></p> <p>3 LAYERS OF STUCCO ON METAL LATH WITH TEXTURE APPROVED BY ARCHITECT/OWNER</p> <p>2-LAYERS OF GRADE D PAPER</p> <p>PLYWOOD SHEATHING, SEE STRUCTURAL</p> <p>WOOD STUD FRAMING @ 16" O.C. W/ BATT INSULATION PER T-24</p>

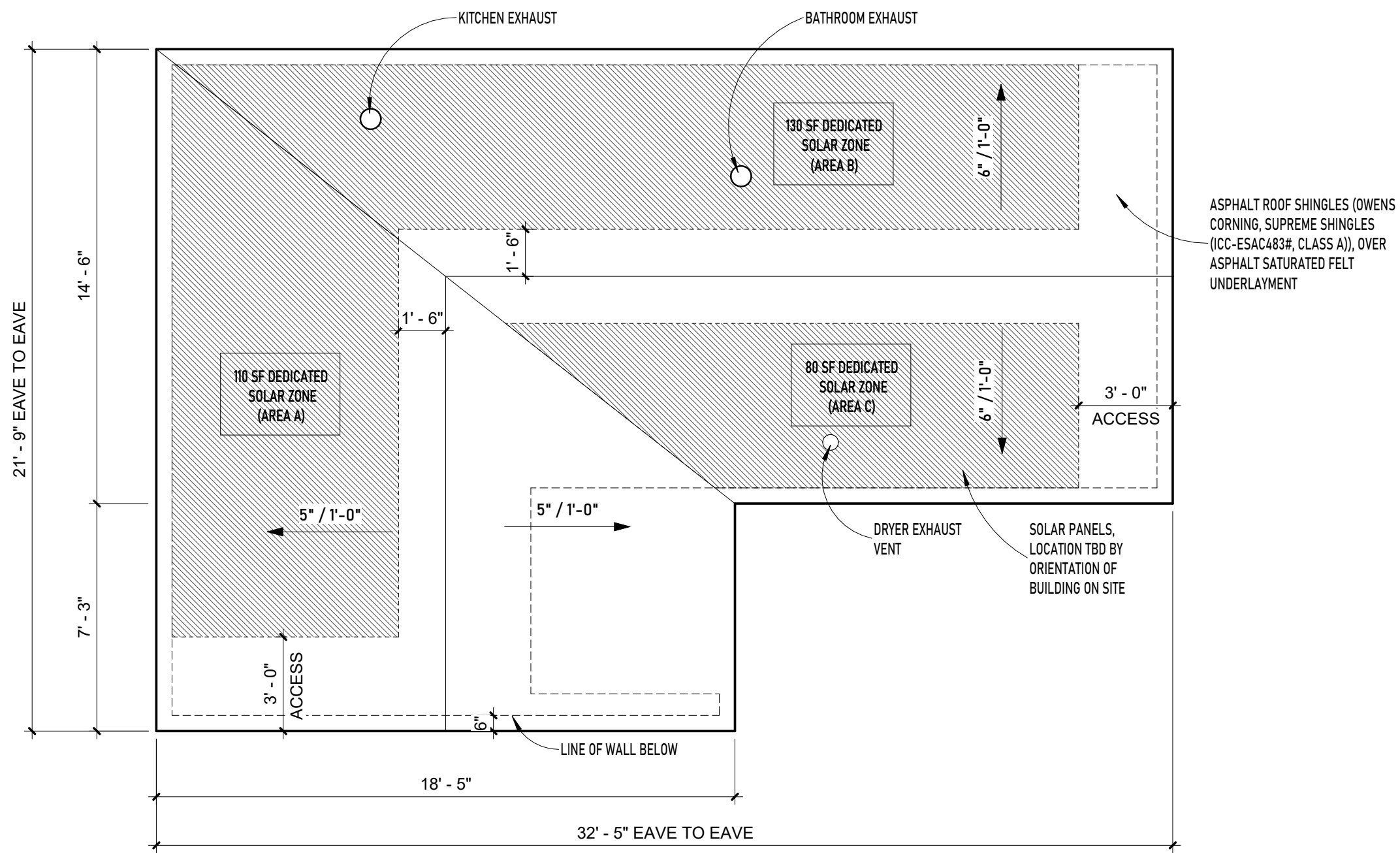
WALL IDENTIFIER	ASSEMBLY DETAILS
3	<p><u>INTERIOR 2X WD STUD WALL</u></p> <p>GYPSUM WALL BOARD</p> <p>WOOD STUD FRAMING @ 16" O.C.</p> <p>GYPSUM WALL BOARD</p>

WALL IDENTIFIER	ASSEMBLY DETAILS
4	<p><u>INTERIOR 2X WD STUD WALL @ SHOWER</u></p> <p>GYPSUM WALL BOARD</p> <p>WOOD STUD FRAMING @ 16" O.C. (2X6 WHERE PLUMBING OCCURS)</p> <p>GYPSUM WALL BOARD (TYPE-X WET LOCATIONS)</p> <p>NONABSORBANT MATERIAL FINISH</p> <p>INTERIOR</p> <p>INTERIOR @ SHOWER</p>

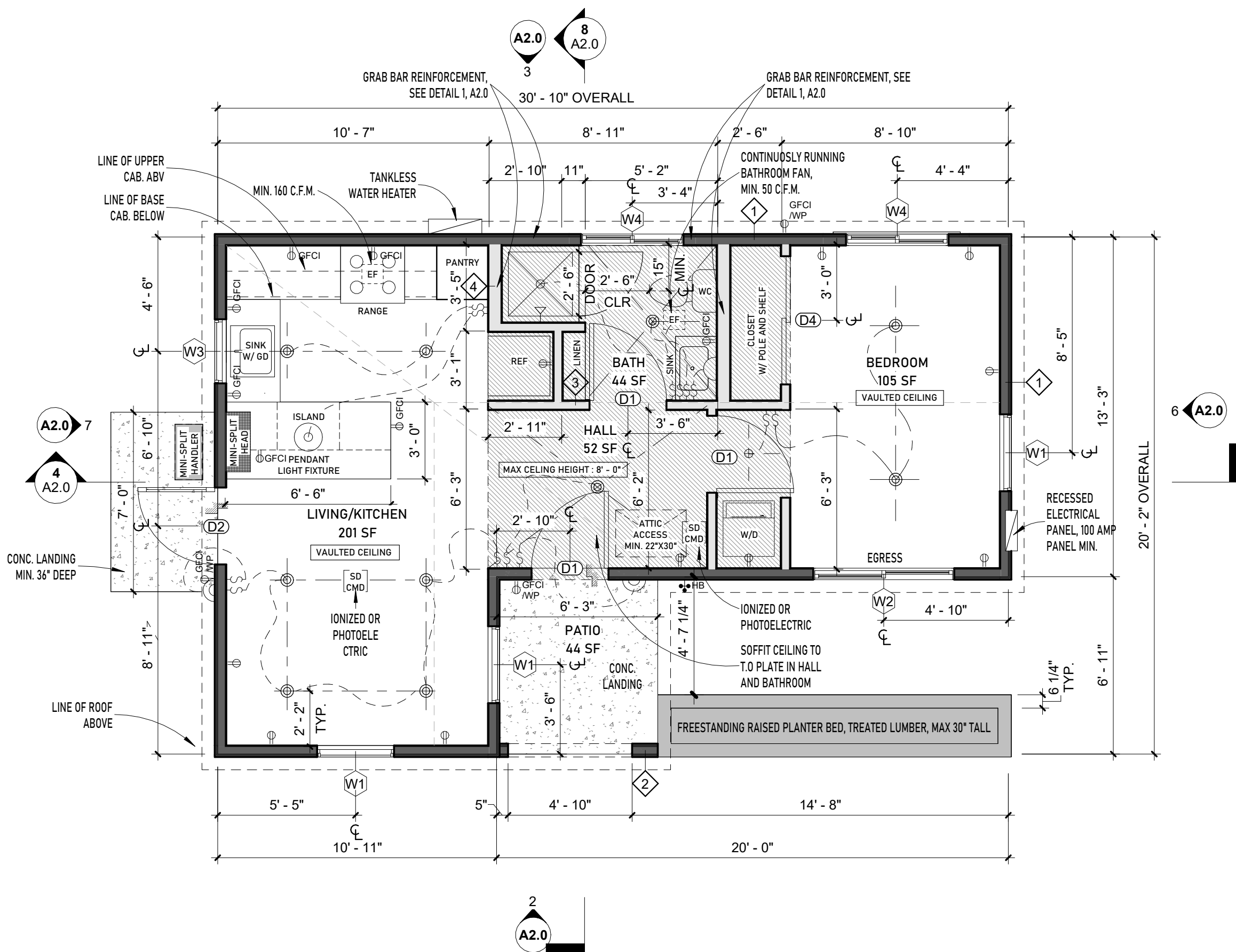
NATURAL LIGHT	NATURAL VENTILATION
KITCHEN + LIVING TOTAL AREA: 201 SF	KITCHEN + LIVING TOTAL AREA: 201 SF
8% OF TOTAL AREA: ≈ 16.5 SF	4% OF TOTAL AREA: ≈ 8.5 SF
TOTAL GLAZING AREA: 38 SF	OPERABLE WINDOW AREA: 24 SF
NATURAL LIGHT REQUIREMENTS MET: <u>YES</u>	NATURAL VENTILATION REQUIREMENTS MET: <u>YES</u>

THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M FOR EACH 100 SQ. FT. OF FLOOR AREA PLUS 7.5 C.F.M FOR EACH OCCUPANT. THE NUMBER OF OCCUPANTS IS DETERMINED BY MULTIPLYING THE NUMBER OF BEDROOMS AND THEN ADDING ONE. ASHRAE 62.2.

* CALCULATED TO FACE OF FINISH



② ROOF PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

<u>NAME</u>	<u>AREA</u>
HALLWAY	52 SF
BATHROOM	44 SF
LIVING ROOM/KITCHEN	201 SF
BEDROOM + CLOSET	118 SF
PORCH	46 SF

* CALCULATED TO FACE OF FINISH

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CONSTRUCTION TO PROCEED IN VIOLATION OF
ANY FEDERAL, STATE, NOR LOCAL REGULATION
BY: Mohammed Afanch DATE: 12/5/2024

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- A. DIMENSIONS - ALL DIMENSIONS & GRIDLINES ARE TO FACE OF STUD (F.O.S.)
- B. STRUCTURAL - FRAMING & FOUNDATION SHOWN IN FLOOR PLANS ARE FOR REFERENCE ONLY. REFERS TO STRUCTURAL DRAWINGS FOR ACTUAL FRAMING SIZES, DIRECTIONS, FOUNDATION SIZES & SPECIFICATIONS
- C. MECHANICAL - HVAC DUCTS & EQUIPMENT SHOWN IN APPROVED LOCATION.
MINI-SPLIT HANDLER TO BE LOCATED AT GRADE ON CONCRETE PAD
- D. PLANTER - PLANTER IS AN OPTIONAL FEATURE
- E. GRADING - LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM BUILDING AND ADJACENT PROPERTIES AND TOWARDS THE PUBLIC WAY. THE GRADE SHALL FALL NOT FEWER THAN 1" WITHIN THE FIRST 10' FROM GRADE 0+0.3
- F. SPRINKLERS - FIRE SPRINKLER SYSTEM TO BE PART OF THE DEFERRED SUBMITTAL, WHERE THE OPTION OF SPRINKLER SYSTEM IS SPECIFIED AS YES, SPRINKLERED.
- G. STUCCO FINISH - STUCCO TO BE THREE COATS MINIMUM WHEN APPLIED OVER WEATHERED SLAB WITH 2 LAYERS OF GRADE D PAPER, CRC R703.2 & R703A.3
- H. WEEP SCREED - WEEP SCREED TO BE INSTALLED AT THE BASE OF THE STUCCO SIDING. WEEP SCREED SHALL BE A MINIMUM OF 2 INCHES ABOVE THE CONCRETE SLAB AND 4 INCHES ABOVE EXPOSED EARTH, CRC R703.2.1
- I. WOOD FRAMING ON REST ON FOUNDATIONS - ALL WOOD FRAMING MEMBERS THAT CONTACT ON CONCRETE EXTERIOR FOUNDATIONS TO BE 8 INCHES ABOVE THE EXPOSED GROUND PER CRC R317.1
- J. WATER CONSERVING PLUMBING FIXTURES
 - a. WATER CLOSST TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2
 - b. KITCHEN FAUCET TO BE GALLONS PER MINUTE, MAXIMUM, PER CPC 407.2.1.1
 - c. LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM, PER CPC 407.2.1.2
 - d. SHOWERHEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 408.2
- K. HOSE BIBS - HOSE BIBS TO BE PROTECTED WITH A NONREMOVABLE HOSE-BIB TYPE BACKFLOW PREVENTER, A NONREMOVABLE HOSE-BIB TYPE VACUUM BREAKER, OR BY AN ATMOSPHERIC VENT TYPE AIR VALVE. INSTALL NOT LESS THAN INCHES ABOVE THE HIGHEST POINT OF USAGE LOCATED ON THE DISCHARGE SIDE OF THE LAST VALVE, CPC 603.5.7

- A. DOCUMENTS - ELECTRICAL/LIGHTING/ REFLECTED CEILING PLANS ARE NOT INTENDED TO REPRESENT A COMPLETE SET OF ELECTRICAL DRAWINGS.
- B. ENGINEERING - ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL WORK. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL LAWS AND APPLICABLE CODES. VERIFY ELECTRICAL REQUIREMENTS OF ALL APPLIANCES WITH MANUFACTURERS' RECOMMENDATIONS. LOCATE ELECTRICAL RECEPTACLES AND CONNECTIONS PER MANUFACTURERS' RECOMMENDATIONS.
- C. SOFFITS - ALL SOFFITS AND CEILINGS ARE DIMENSIONED TO FINISH FACE UNLESS OTHERWISE NOTED.
- D. OUTLET AND LIGHT SWITCHES - ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- E. DOORBELL - DOORBELL CONTROLS NOT TO EXCEED 48" ABOVE EXTERIOR FLOOR, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY.
- F. LIGHTING - ALL LIGHTING TO BE HIGH EFFICACY.
LIGHTING - 50.0 l/(ft)(ft)(A). ALL FIXTURES TO HAVE DIMABLE CONTROLS.
- G. EXTERIOR LIGHTING - EXTERIOR LUMINAIRES TO BE HIGH EFFICACY AND SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER CENY 150 k(x)(3):
 - a. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO OFF.
 - b. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
 - c. CONTROLLED BY ON OF THE FOLLOWING METHODS:
 - i. PHOTOCONTROL AND AUTOMATIC CONTROL,
 - ii. ASTRONOMICAL TIME CLOCK.
- H. RECESSED LIGHTING - SPECIFY FIXTURES NOT LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC) OR UL OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY.
CENyCg 150 k(x)(8).

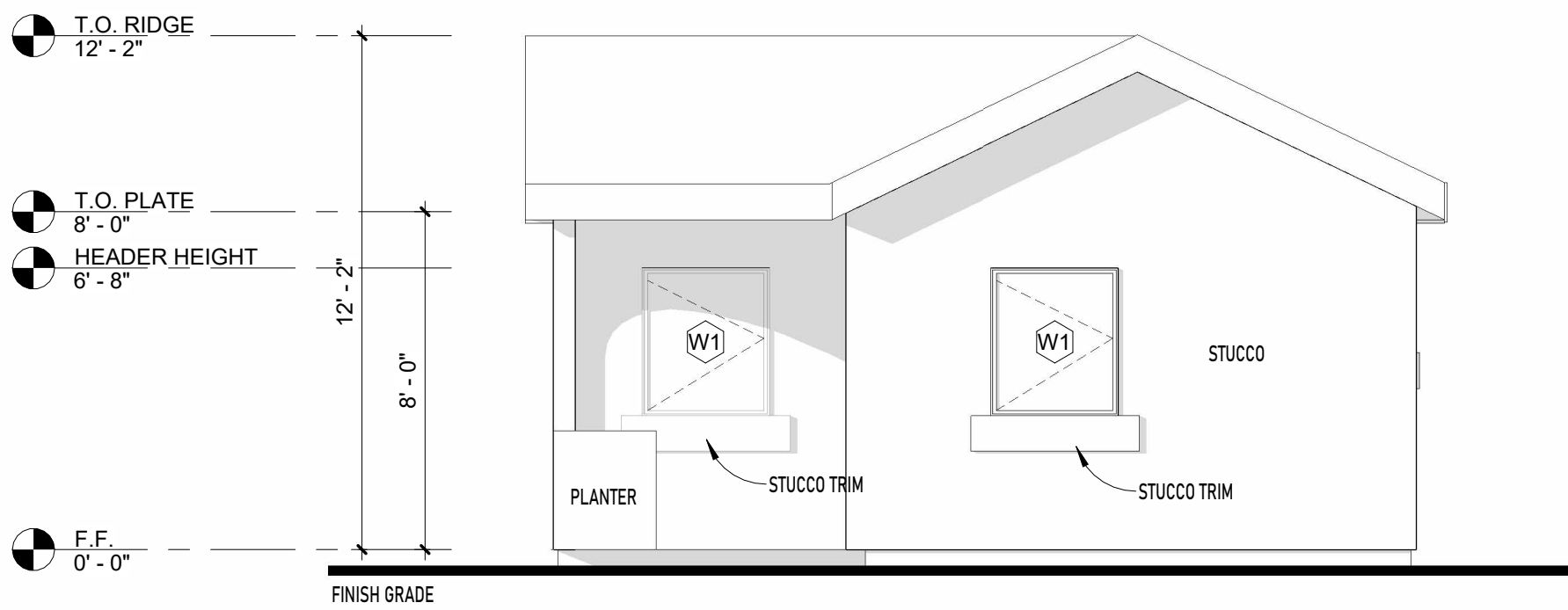
	DOOR NUMBER
	WALL TYPE
	WINDOW TYPE
	THRESHOLD, 1.5" MAX
	CARBON MONOXIDE DETECTOR & SMOKE DETECTOR
	EXHAUST FAN,
	OUTLET
	GFI OUTLET
	LIGHT SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	INTERIOR WALL MOUNTED SCONCE
	EXTERIOR WALL MOUNTED SCONCE
	SOFFIT
	SHOWER HEAD AND CONTROL VALVES
	HOSE BIB

PERMIT READY ADU PLAN SET

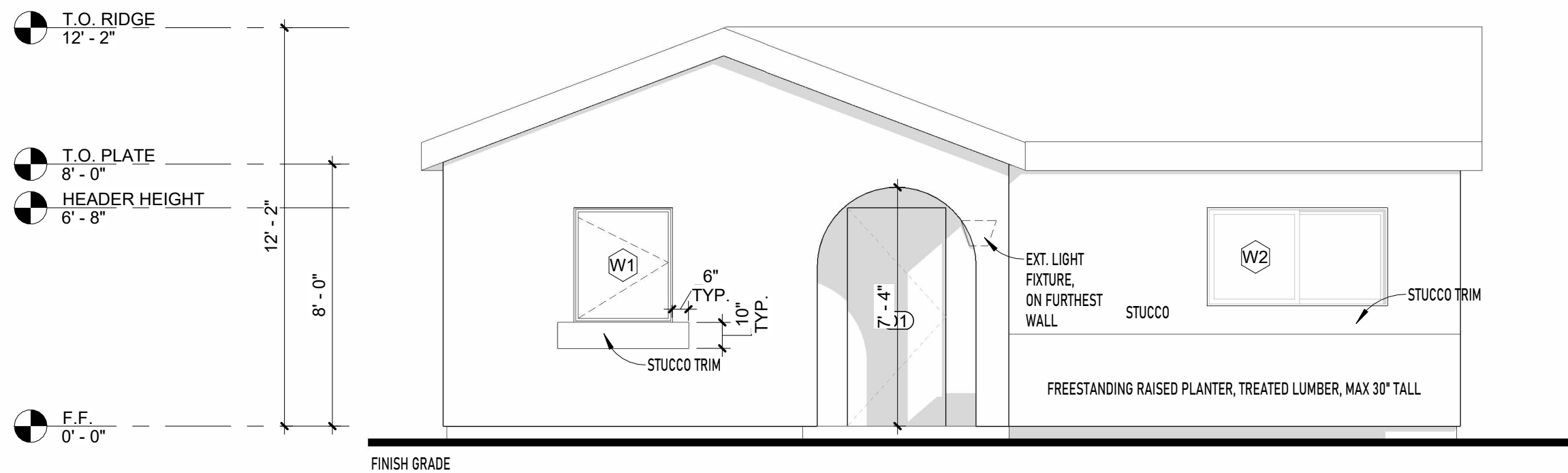
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PLANS

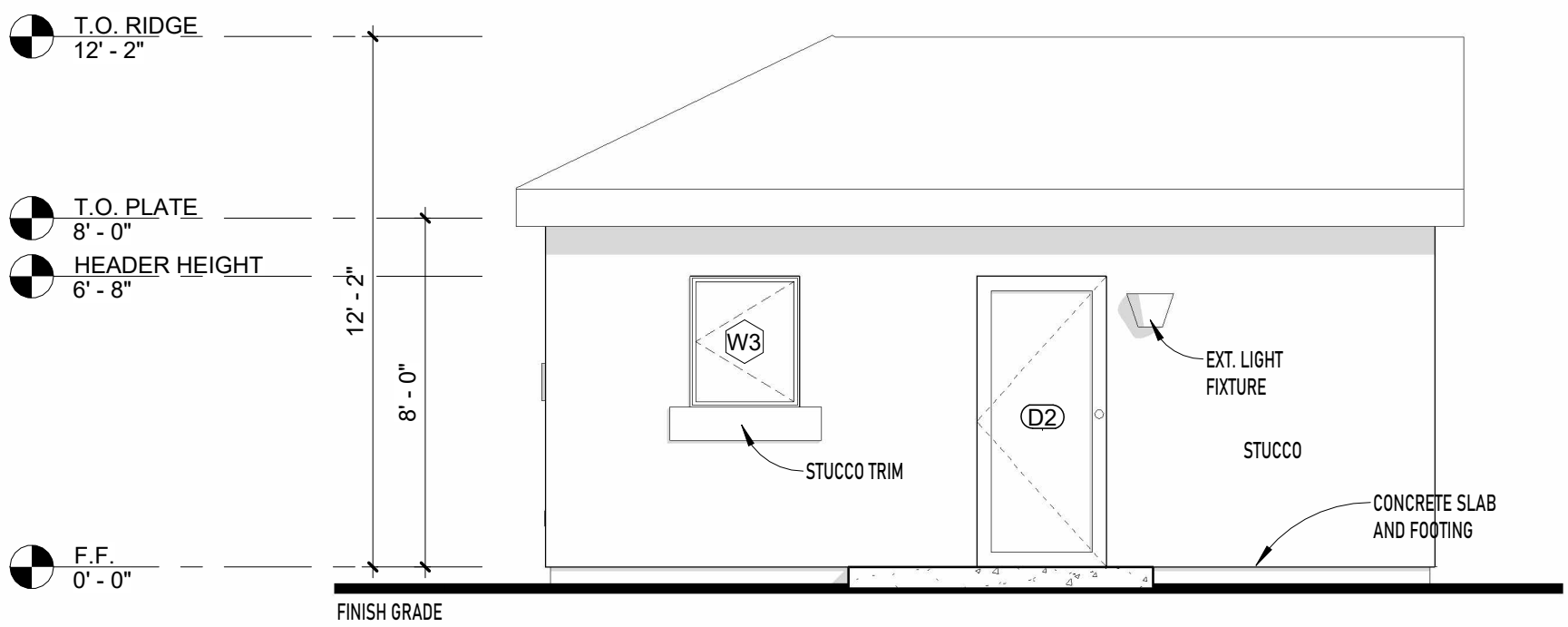
A1.0



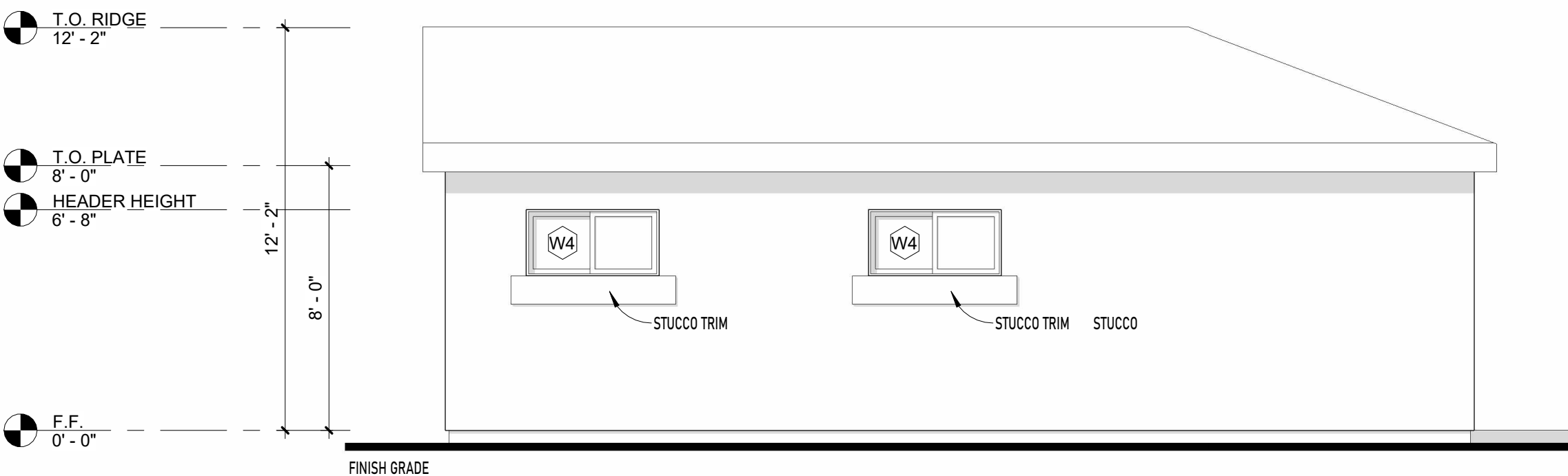
6 ELEVATION 2
1/4" = 1'-0"



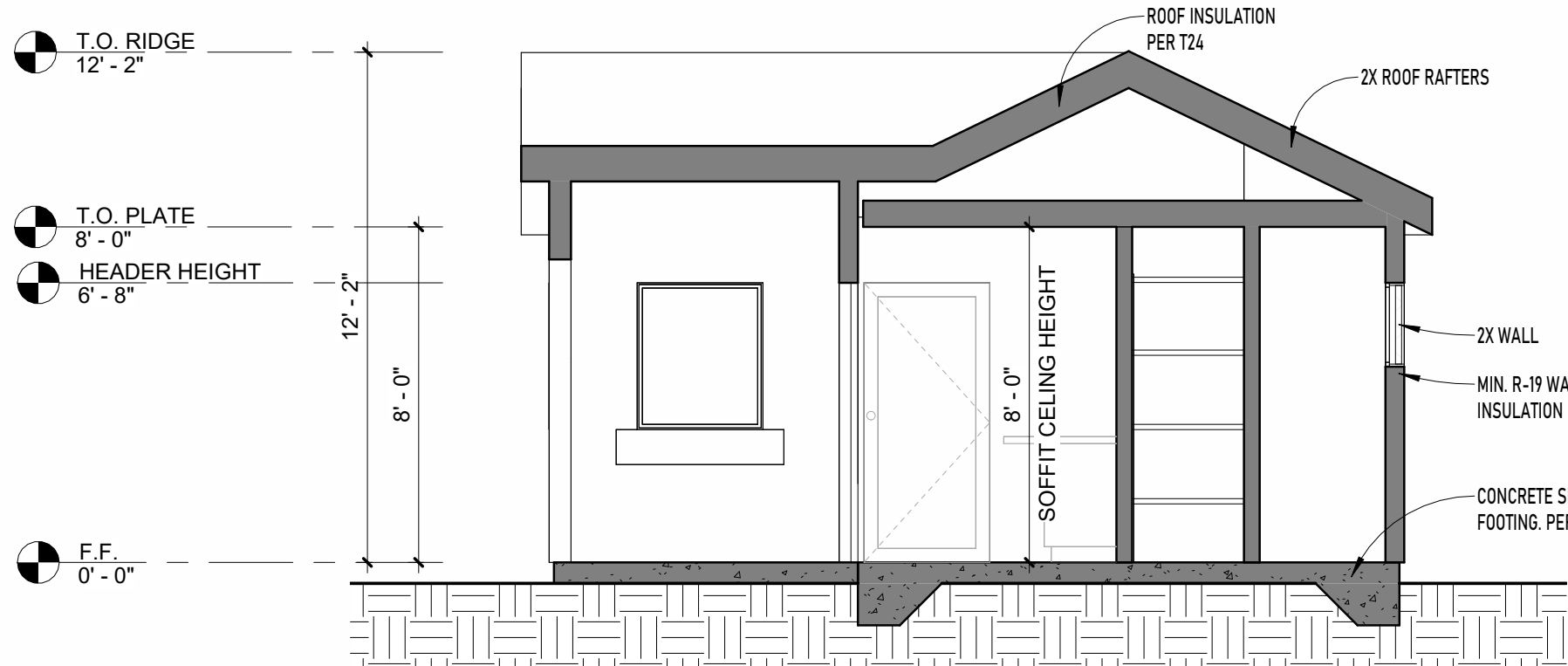
2 ELEVATION 1
1/4" = 1'-0"



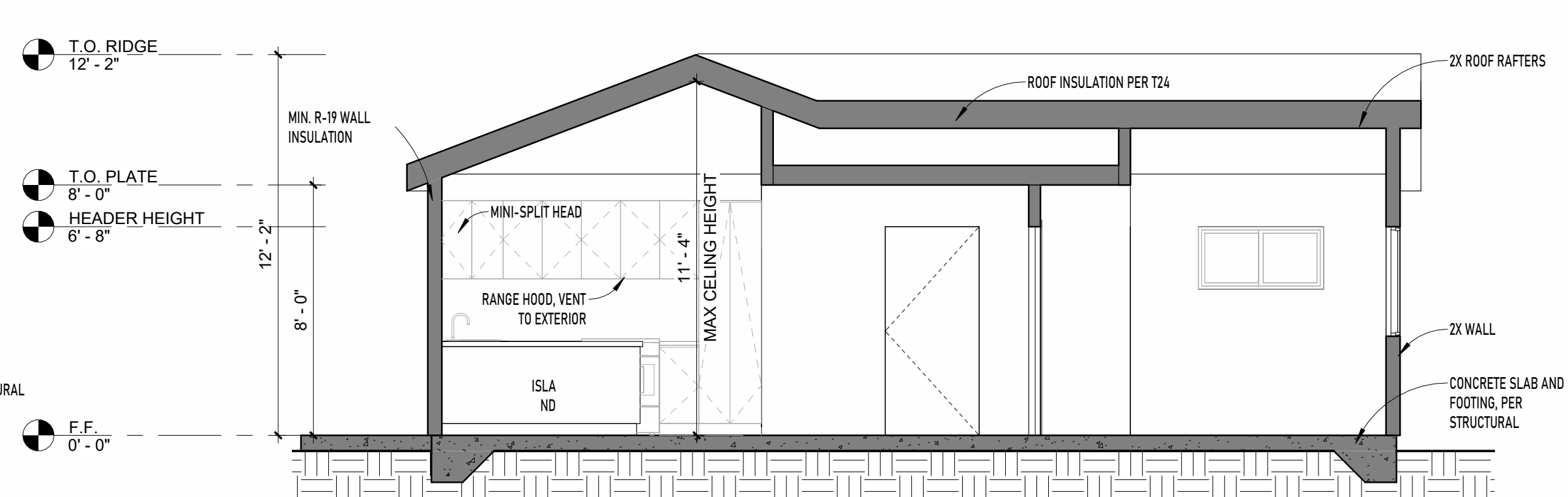
7 ELEVATION 4
1/4" = 1'-0"



3 ELEVATION 3
1/4" = 1'-0"



8 SECTION 2
1/4" = 1'-0"



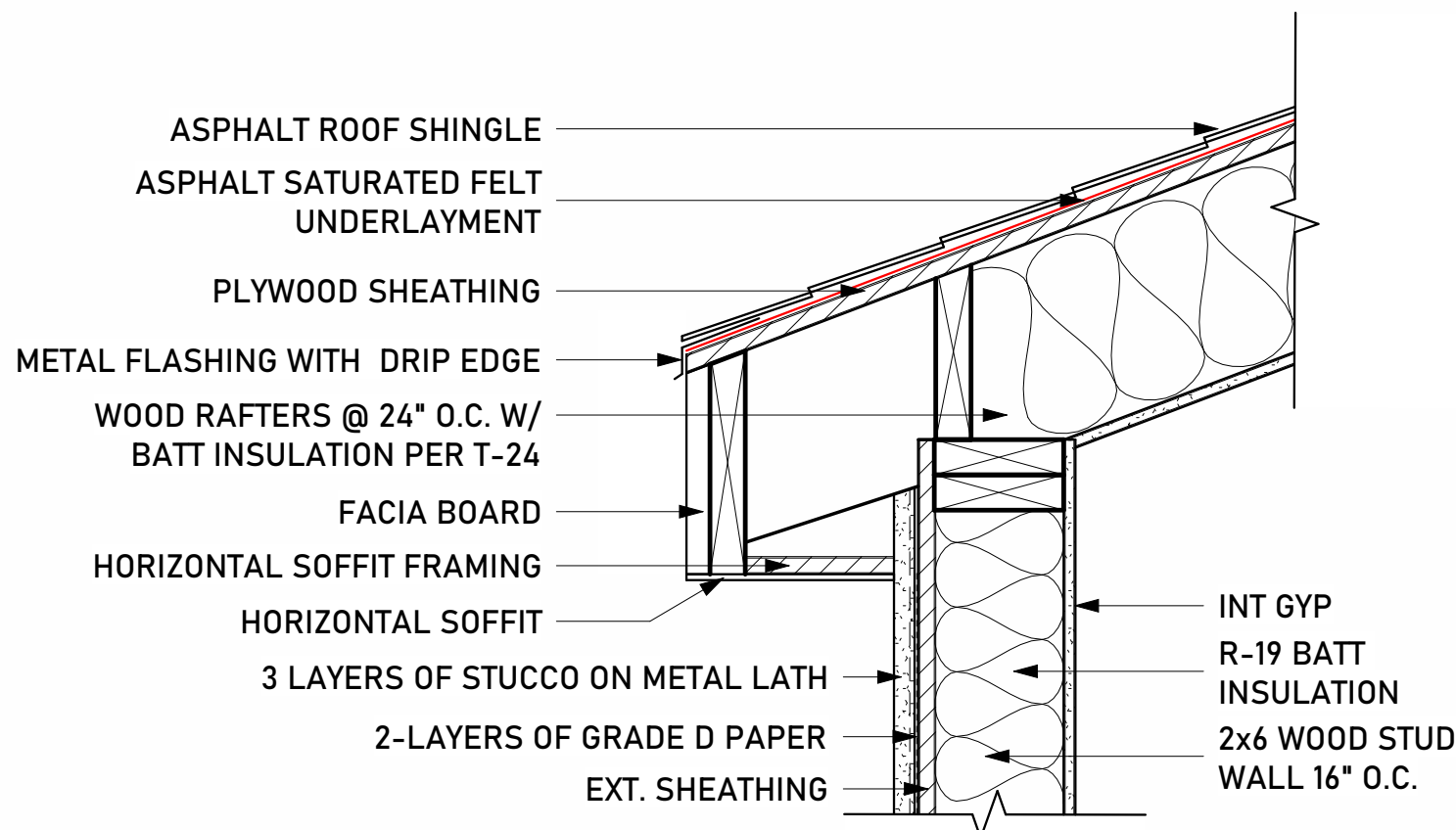
4 SECTION 1
1/4" = 1'-0"

True North Compliance Services, Inc.

PLAN REVIEW APPROVAL

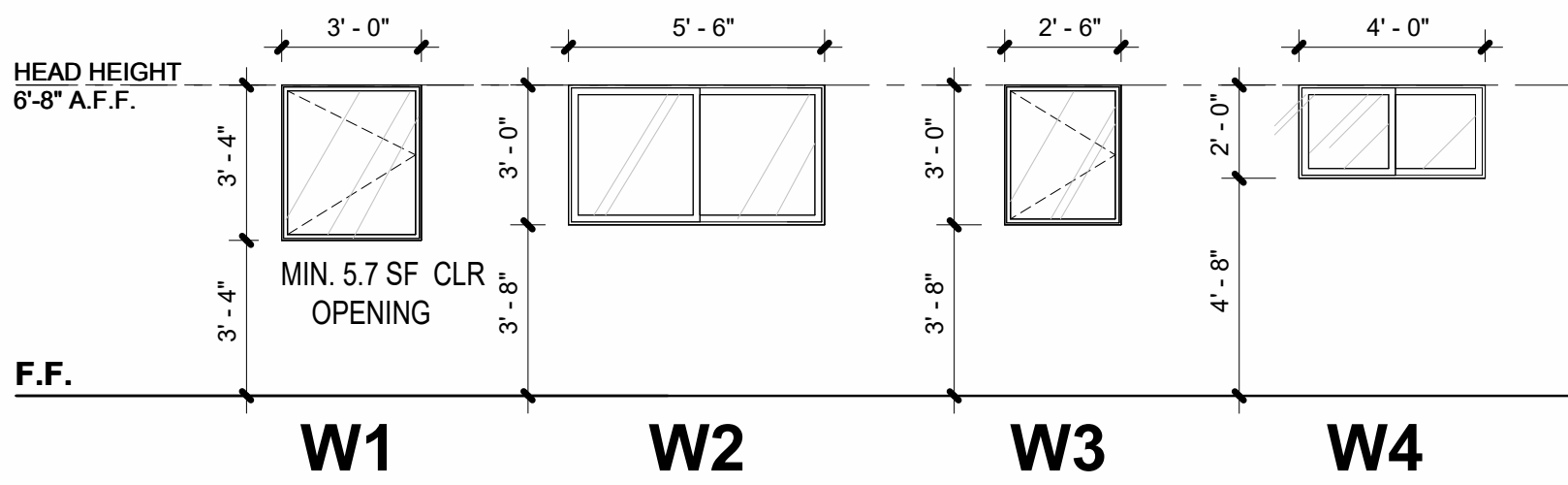
THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION. BY: *Mohammed Alkhatib* DATE: 12/5/2024

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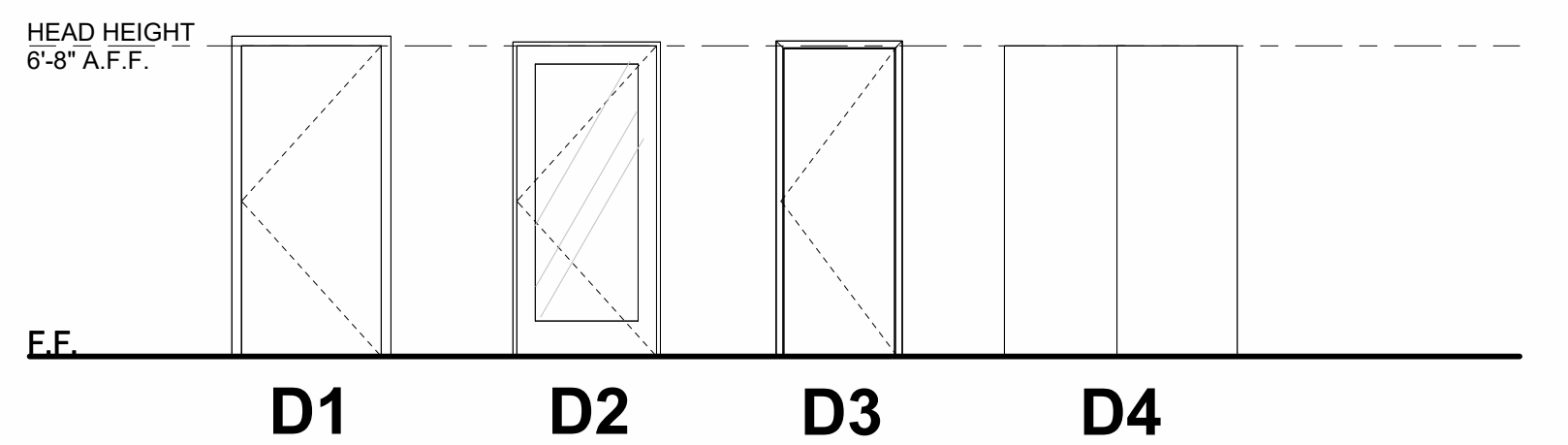
5 FIRE RATED EAVE DETAIL
1 1/2" = 1'-0"

WINDOW SCHEDULE

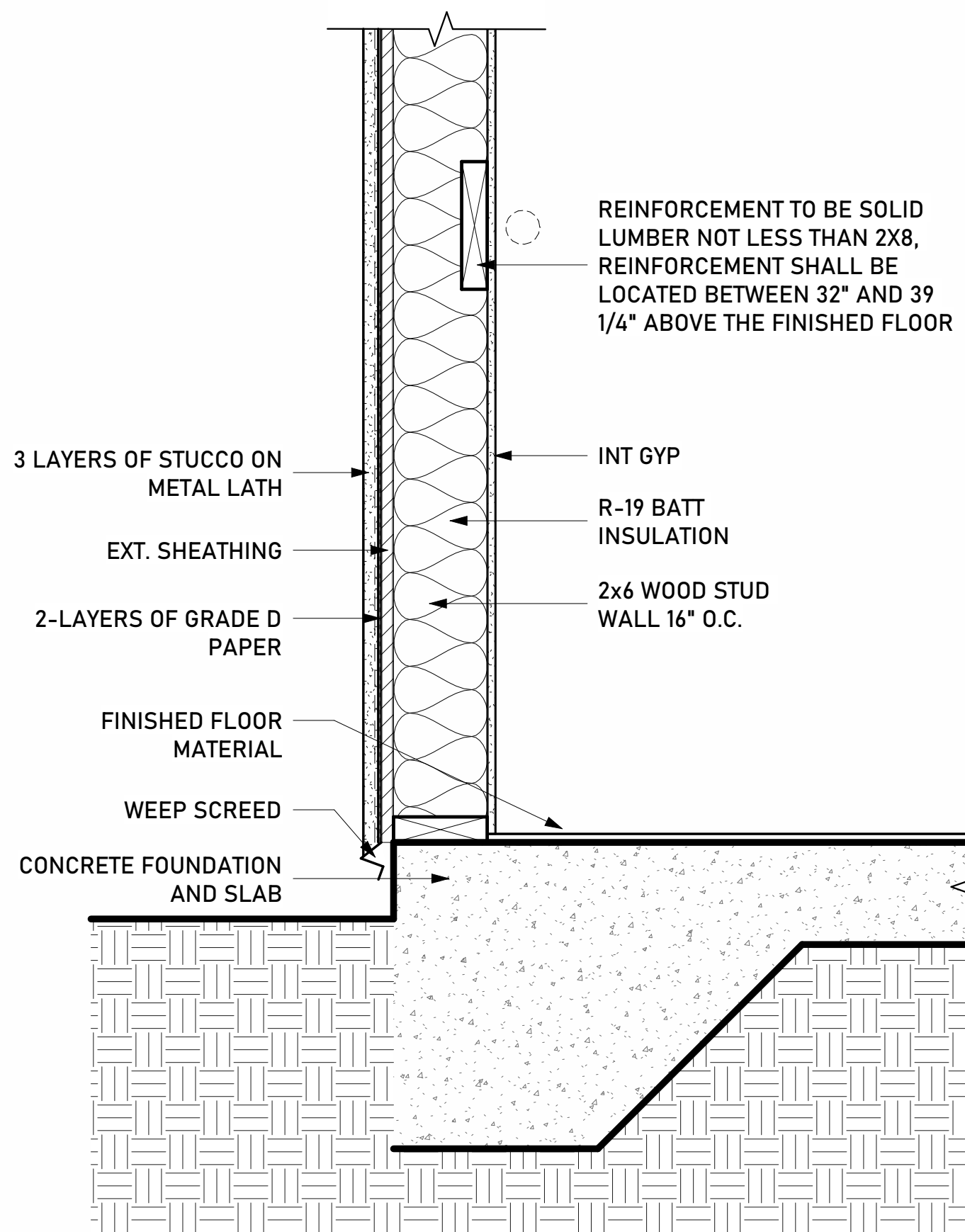


WINDOW SCHEDULE								
MARK K	QTY	WINDOW TYPE	FRAME	WIDTH	HEIGHT	HEAD HEIGHT	U-FACTOR	SHCG
W1	3	CASEMENT	VINYL, WHITE	3' - 0"	3' - 6"	6'-8"	PER T24	PER T24
W2	1	SLIDER	VINYL, WHITE	5' - 6"	3' - 0"	6'-8"	PER T24	PER T24
W3	1	CASEMENT	VINYL, WHITE	2' - 6"	3' - 0"	6'-8"	PER T24	PER T24
W4	2	SLIDER	VINYL, WHITE	4' - 0"	2' - 0"	6'-8"	PER T24	PER T24

DOOR SCHEDULE



DOOR SCHEDULE					
MARK	QTY	DOOR TYPE	WIDTH	HEIGHT	U-FACTOR
D1	3	<varies>	3' - 0"	6' - 8"	
D2	1	LITE DOOR	3' - 0"	6' - 8"	PER T24
D4	1	CLOSET DOOR	5' - 0"	6' - 8"	



1 GRAB BAR REINFORCEMENT DETAIL
1 1/2" = 1'-0"

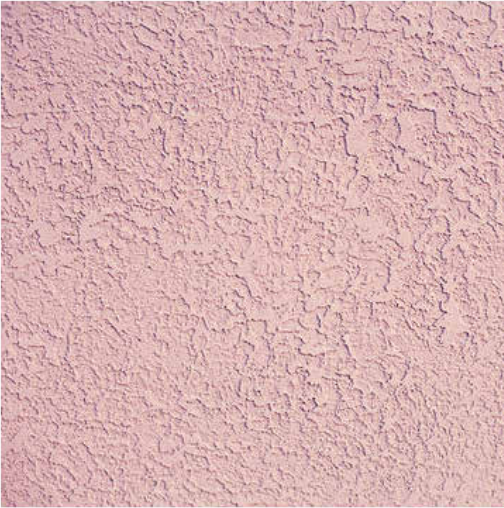
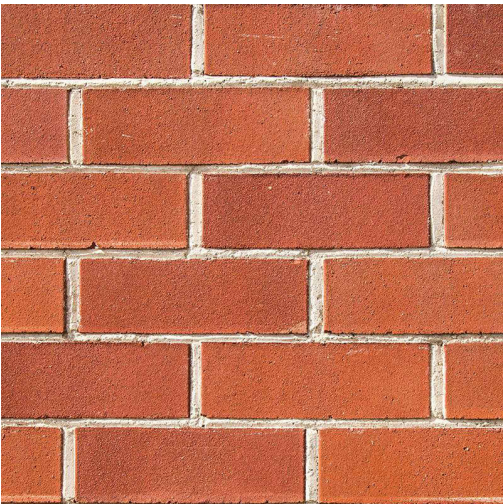


CITY OF SOUTH GATE

PERMIT READY ADU PLAN SET

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ELEVATIONS

A2.0

MATERIAL SHEET REQUIREMENTS	MATERIAL SHEET
<p>All Permit Ready Plan Sets are required to complete a Material Sheet. This document should detail the exterior materials, finishes, and fixtures that homeowners intend to incorporate into their finalized ADU design.</p> <p>Items on a Material Sheet should include:</p> <ul style="list-style-type: none">A. Exterior material finishes (stucco, siding, stone, veneer, etc)B. Exterior paint colorsC. Exterior light fixturesD. Door and window types	<p>Insert/Paste Material Specifications Here</p>
MATERIAL SHEET SAMPLE	
<div><p>STUCCO EXTERIOR FINISH</p></div> <div><p>BRICK FINISH</p></div> <div><p>EXTERIOR ENTRY DOOR</p></div> <div><p>EXTERIOR SCONCE</p></div>	

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True North Compliance Services, Inc.

PLAN REVIEW APPROVAL

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BY: *Mohammed Aljoudi* DATE: 12/5/2024

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FASTENING SCHEDULE		
CONNECTION	FASTENING	REMARKS
ROOF		
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	4-8D BOX (2-1/2" X 0.113")	TOE NAIL
CEILING JOIST TO PLATE	4-8D BOX (2-1/2" X 0.113")	TOE NAIL
CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS	4-10D BOX (3" X 0.128")	FACE NAIL
COLLAR TIE RAFTER, FACE NAIL OR 1 1/4" 20-GAGE RIDGE STRAP	4-10D BOX (3" X 0.128")	FACE NAIL
RAFTER OR ROOF TRUSS TO PLATE	3-16D BOX NAILS (3-1/2" X 0.135") OR 3-16D BOX NAILS (3-1/2" X 0.135")	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM.	4-16D BOX (3-1/2" X 0.135"), OR 3-10D COMMON (3-1/2" X 0.148")	TOE NAIL
	3-16D BOX (3-1/2" X 0.135"), OR 2-16D COMMON (3-1/2" X 0.162")	END NAIL
WALL		
STUD TO STUD (NOT BRACED WALL PANELS)	16D COMMON (3-1/2" X 0.162")	24" OC FACE NAIL
	10D BOX (3" X 0.128")	16" OC FACE NAIL
STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16D BOX (3-1/2" X 0.135")	12" OC FACE NAIL
	16D COMMON (3-1/2" X 0.162")	16" OC FACE NAIL
ABUTTING STUDS AT INTERSECTING WALL CORNERS, FACE NAIL	16D (3-1/2" X 0.135")	12" OC FACE NAIL
BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16D COMMON (3-1/2" X 0.162")	16" OC EACH EDGE FACE NAIL
	16D BOX (3-1/2" X 0.135")	12" OC EACH EDGE FACE NAIL
CONTINUOUS HEADER TO STUD	5-8D BOX (2-1/2" X 0.113")	TOE NAIL
	4-8D COMMON (2-1/2" X 0.131")	TOE NAIL
TOP PLATE TO TOP PLATE	16D COMMON (3-1/2" X 0.162")	16" OC FACE NAIL
	10D BOX (3" X 0.128")	12" OC FACE NAIL
DOUBLE TOP PLATE SPLICE	8-16D (3-1/2" X 0.135")	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF JOINT
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16D COMMON (3-1/2" X 0.162")	16" OC FACE NAIL
	16D BOX (3-1/2" X 0.135")	12" OC FACE NAIL
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	3-16D BOX (3-1/2" X 0.135"), OR 2-16D COMMON (3-1/2" X 0.162")	3 EACH 16" OC FACE NAIL 2 EACH 16" OC FACE NAIL
TOP OR BOTTOM PLATE TO STUD	4-8D BOX (2-1/2" X 0.113"), OR 3-16D BOX (3-1/2" X 0.135"), OR 4-8D COMMON (2-1/2" X 0.131")	TOE NAIL
	3-16D BOX (3-1/2" X 0.135"), OR 2-16D COMMON (3-1/2" X 0.135"), OR 2-10D COMMON (3" X 0.162"), OR 3-10D BOX (3" X 0.128")	END NAIL
TOP PLATES, LAP AT CORNERS AND INTERSECTIONS	3-10D BOX (3" X 0.128"), OR 2-16D COMMON (3-1/2" X 0.162")	FACE NAIL
FLOOR		
JOIST TO SILL, TOP PLATE OR GIRDER	4-8D BOX (2-1/2" X 0.113"), OR 3-8D COMMON (2-1/2" X 0.131"), OR 3-10D BOX (3" X 0.128")	TOE NAIL
RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8D BOX (2-1/2" X 0.113")	4" OC
	8D COMMON (2-1/2" X 0.131"), OR 10D BOX (3" X 0.128")	6" OC
BAND OR RIM JOIST TO JOIST	3-16D COMMON (3-1/2" X 0.162"), OR 4-10D BOX (3" X 0.128")	END NAIL
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20D COMMON (4" X 0.192"), OR 10D BOX (3" X 0.128"), OR AND: 2-20D COMMON (4" X 0.192"), OR 3-10D BOX (3" X 0.128")	NAIL EACH LAYER AS FOLLOWS: 32" OC AT TOP AND BOTTOM AND STAGGERED 24" OC FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16D BOX (3-1/2" X 0.135"), OR 3-16D COMMON (3-1/2" X 0.162"), OR 4-10D BOX (3" X 0.128")	AT EACH JOIST OR RAFTER, FACE NAIL
BRIDGING TO JOIST	2-10D (3" X 0.128")	EACH NAIL, TOE NAIL

- CC** PROPORTION, MIX, TRANSPORT, AND PLACE CAST-IN-PLACE CONCRETE IN ACCORDANCE WITH ACI 301
- CC-1** "SPECIFICATIONS FOR STRUCTURAL CONCRETE," UON.
- CC-2** CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS.
- CC-3** ROUGHEN CONCRETE SURFACES OF CONSTRUCTION JOINTS TO 1/4 INCH AMPLITUDE AND CLEAN OF LAITANCE, FOREIGN MATTER, AND LOOSE PARTICLES. LOCATE CONSTRUCTION JOINTS AS SHOWN ON THE DRAWINGS. SUBMIT ALTERNATE JOINT LOCATIONS OR JOINTS NOT SHOWN TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- CC-4** REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS OF ADDITIONAL CONCRETE CURBS AND HOUSEKEEPING PADS NOT SHOWN.
- CC-5** CONTINUOUSLY MOIST CURE CONCRETE SLABS-ON-GRADE FOR 7 DAYS MINIMUM. WATER FOG SPRAYS, PONDING, SATURATED ABSORPTIVE COVERS, OR MOISTURE RETAINING COVERS MAY BE USED. CURING COMPOUNDS CAN BE USED BASED ON SATISFACTORY PERFORMANCE ON PREVIOUS APPLICATIONS. CONTRACTOR TO SUBMIT SPECIFICATIONS FOR REVIEW AND APPROVAL.
- CC-6** NON-SHRINK GROUT: NON-METALLIC AGGREGATE TYPE, COMPLYING WITH ASTM C1107 AND CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI AT 28 DAYS.
- CC-7** CONCRETE TYPES:
- | LOCATION | 28 DAY f_c | TYPE | MAX AGGREGATE SIZE |
|--|--------------|---------------|--------------------|
| SHALLOW FOUNDATIONS, MISC CURBS, PADS, SLAB ON GRADE | 2500 PSI | NORMAL WEIGHT | 1" |
- FN-1** LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER CONSTRUCTION.
- FN-1** REMOVE ABANDONED FOOTINGS, UTILITIES, ETC. WHICH INTERFERE WITH NEW CONSTRUCTION. UNLESS OTHERWISE INDICATED.
- FN-3** NOTIFY THE OWNER'S REPRESENTATIVE IF ANY BURIED STRUCTURES NOT INDICATED, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC., ARE FOUND.
- FN-4** THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION.
- FN-5** REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.
- FN-6** EXCAVATIONS FOR FOUNDATIONS MUST BE ACCEPTED BY THE INSPECTOR PRIOR TO PLACING REINFORCING AND CONCRETE.
- FN-7** IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, SOILS REPORT MAY BE REQUIRED AND DESIGN CRITERIA NOTES DO NOT APPLY.
- RE** REINFORCING STEEL
- RE-1** FABRICATE AND PLACE REINFORCING STEEL IN ACCORDANCE WITH ACI 315 "DETAILS AND DETAILING CONCRETE REINFORCING" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE," UON.
- RE-2** ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT FROM DISPLACING DUE TO FORMWORK, CONSTRUCTION, OR CONCRETE PLACEMENT OPERATIONS. LOCATE AND SUPPORT REINFORCING BY METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS, AND HANGERS AT A MAXIMUM 3-FOOT SPACING.
- RE-3** TERMINATE REINFORCING STEEL IN STD HOOKS, UNLESS OTHERWISE SHOWN.
- RE-4** PROVIDE REINFORCING SHOWN OR NOTED CONTINUOUS IN LENGTHS AS LONG AS PRACTICABLE.
- RC** ROUGH CARPENTRY
- RC-1** FRAMING LUMBER: DOUGLAS FIR (COAST REGION) GRADED AND MARKED IN ACCORDANCE WITH THE STD GRADING RULES NO. 17 OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLB) OR WESTERN LUMBER GRADING RULES, OF THE WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). USE LUMBER OF THE FOLLOWING GRADES:
- A. SILLS: STUD GRADE PRESSURE OR PRESERVATIVE TREATED, NATURALLY DURABLE, OR FOUNDATION GRADE REDWOOD; 19% MOISTURE CONTENT, UON.
 - B. STUDS: STUD GRADE; 19% MOISTURE CONTENT, UON.
 - C. JOISTS, PLANKS AND PLATES: DF #2; 15% MOISTURE CONTENT, UON.
 - D. BEAMS, DF #2; 19% MOISTURE CONTENT, UON.
 - E. POSTS, DF #1; 19% MOISTURE CONTENT, UON.
 - F. FRAMING, BLOCKING AND BRIDGING: STUD GRADE; 15% MOISTURE CONTENT, UON.
 - G. PLYWOOD BLOCKING: DF #2; 19% MOISTURE CONTENT.
 - H. BACKING: PER CONSTRUCTION; 19% MOISTURE CONTENT
- RC-2** PANEL SHEATHING: IDENTIFY WOOD STRUCTURAL PANELS WITH THE APPROPRIATE TRADEMARK OF APA-THE ENGINEERED WOOD ASSOCIATION AND MEET THE REQUIREMENTS OF THE VOLUNTARY PRODUCT STD. PS-1 OR PS-2 AND APA PRP-108 PERFORMANCE STD.
- A. PANEL SHEATHING TO BE EXPOSURE 1.
 - B. PLYWOOD PANELS TO BE 5-PLY MINIMUM, EXCEPT 3/8" PANELS TO BE 3-PLY MINIMUM.
 - C. PLYWOOD TO BE C-C GRADE AT LOCATIONS EXPOSED TO WEATHER; CD GRADE ELSEWHERE.
- RC-3** ROUGH HARDWARE:
- A. NAILS: COMMON WIRE NAILS, FEDERAL SPECIFICATION FF-N-105B, STANDARD LENGTHS UON USE HOT-DIPPED ZINC-COATED GALVANIZED NAILS FOR EXTERIOR INSTALLATIONS AND WHEN PENETRATING PRESSURE TREATED OR FIRE-RETARDANT LUMBER.
 - B. BOLTS AND THREADED RODS: ASTM A307, SQ OR HEXAGONAL HEAD MACHINE BOLTS WITH ASTM A563 NUTS. USE MALLEABLE IRON WASHERS UNDER HEAD AND NUT WHEN IN CONTACT WITH WOOD. AT SILL PLATES USE 2"x2"x3/16" MINIMUM PLATE WASHERS.
 - C. LAG SCREWS: ASTM A307, ANSII/ASME STANDARD B18.2.1. USE ANSI B18.22.1 WASHERS UNDER HEAD WHEN IN CONTACT WITH WOOD.
 - D. SCREWS: ASTM A307, ANSII/ASME STANDARD B18.8.1. USE CADMIUM-PLATED PAN OR ROUND HEADED SCREWS AT STEEL TO WOOD AND WOOD TO WOOD CONNECTIONS.
 - E. BOLTS, NUTS, WASHERS, STRAPS AND OTHER HARDWARE EXPOSED TO THE WEATHER TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
 - F. FRAMING CLIPS, SHEET METAL STRAPS, ETC.: SIMPSON, UNIVERSAL, OR EQUIVALENT, WITH LARR REPORTS. DESIGNATIONS ON DRAWINGS ARE BASED ON SIMPSON CATALOGUE NUMBERS (APMO USES ER 112 & LARR 25814). PROVIDE THE TYPE OF NAILS SPECIFIED BY THE MANUFACTURER AND FULLY DRIVE NAILS INTO ALL HOLES OF THE CONNECTOR UNLESS NOTED OTHERWISE ON THE PLANS. ALL CONNECTORS SHALL BE GALVANIZED OR HAVE ANOTHER FACTORY APPLIED FINISH. ALL STEEL FRAMING HANGERS TO BE TORSIONAL RESTRAINT. SOLID BLOCKING REQUIRED BETWEEN JOISTS WHERE TORSIONAL RESTRAINT HANGERS DO NOT OCCUR.
- RC-4** BOLT AND SCREW INSTALLATION
- A. DRILL BOLT HOLES 1/32 TO 1/16 (MAX) INCH LARGER IN DIA THAN THE BOLT NOMINAL DIA.
 - B. DRILL PRE-BORED LEAD HOLES FOR WOOD SCREWS AS FOLLOWS.

1

1. PROVIDE LEAD HOLE 40% - 70% OF THREADED SHANK DIA AND FULL DIA FOR SMOOTH SHANK PORTION.

2

2. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT 7/8 THE DIA OF THE WOOD SCREW.

3

3. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE SCREW WITH A DRILL BIT WHOSE DIA IS 40%-70% THE DIA OF THE SCREW AT THE ROOT OF THE THREAD.

4

4. INSERT THE SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.

5

5. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION.

 - C. DRILL PRE-BORED LEAD HOLES FOR LAG SCREWS AS FOLLOWS.

1

1. PROVIDE LEAD HOLE 40% - 70% OF THREADED SHANK DIA AND FULL DIA FOR SMOOTH SHANK PORTION.

2

2. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT OF THE SAME DIA AS THE LAG SCREW.

3

3. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE LAG SCREW WITH A DRILL BIT WHOSE DIA IS 60 PERCENT OF THE NOMINAL LAG SCREW DIA.

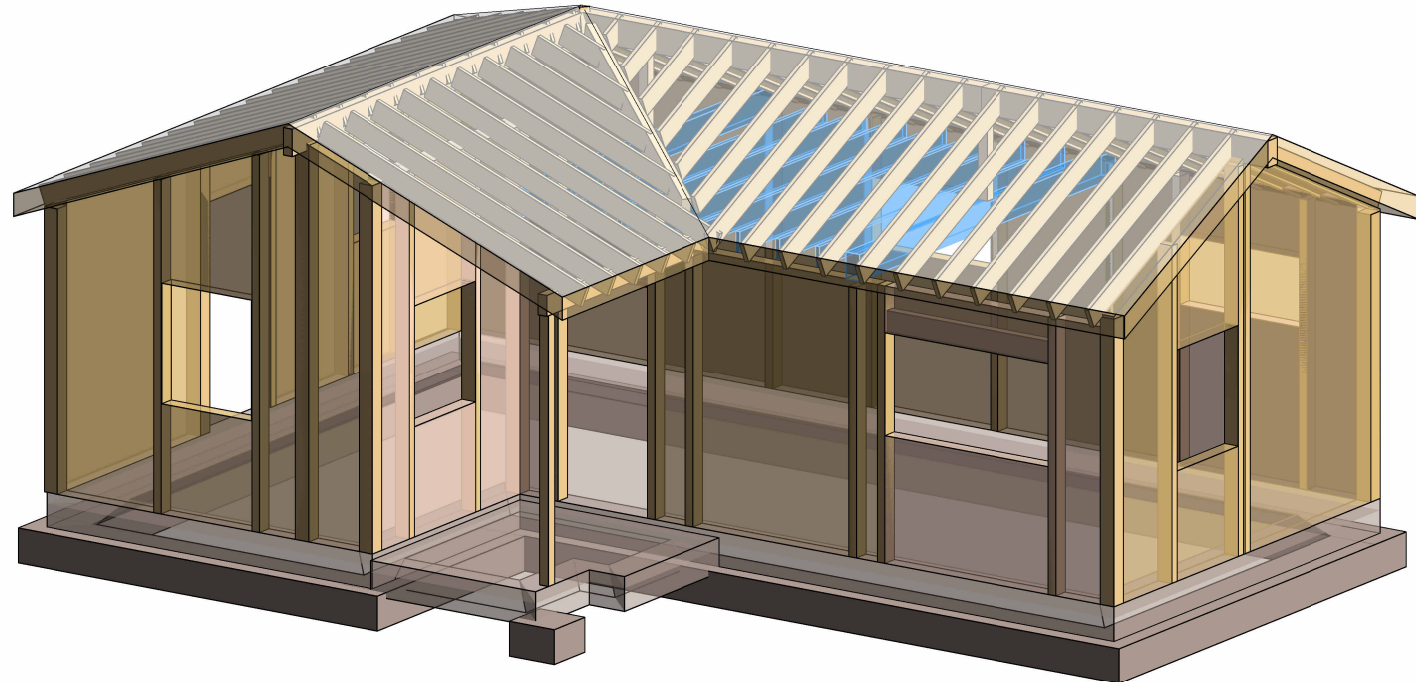
4

4. INSERT LAG SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.

5

5. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION.
- RC-5** HOLD DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD DOWNS SHALL BE FINGER TIGHT AND 1/2 FRENCH TURNED JUST PRIOR TO COVERING WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS ON THE POST ON THE OPPOSITE SIDE OF ANCHORAGE DEVICE. PLATE WASHER SHALL BE 0.298x3x3 IN MIN.
- RC-6** HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- RC-7** INSTALL SOLID BLOCKING BETWEEN JOISTS AT ENDS AND OVER SUPPORTS. PROVIDE 2 INCH BY 3 INCH CROSS BRIDGING, METAL BRIDGING, OR SOLID BLOCKING BETWEEN JOISTS IN SPANS EQUALLY SPACED 8 FEET OC MAXIMUM AND WHERE INDICATED.
- RC-8** DO NOT USE WOOD SHINGLE SHIMS UNDER STUDS, JOISTS, BEAMS, OR POSTS.
- RC-9** NAILING:
- A. DRIVE NAILS PERPENDICULAR TO THE GRAIN, UON
 - B. PREDRILLED HOLES TO 3/4 OF NAIL DIA WHERE SPECIFIED AND WHEN WOOD TENDS TO SPLIT.
 - C. AIR-DRIVEN NAILS TO BE FULL-HEADED NAILS. DO NOT OVERDRIVE NAILS.
 - D. PANEL SHEATHING
 1. AT DIAPHRAGM SHEATHING, USE RING SHANK NAILS. USE SMOOTH SHANK NAILS AT WALLS.
 2. USE OF MACHINE NAILING IS SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR EACH PROJECT AND APPROVAL BY THE OWNER'S REPRESENTATIVE. NAIL HEADS THAT PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND HAMMER OR IF THE MINIMUM ALLOWABLE EDGE DISTANCES ARE NOT MAINTAINED THE INSTALLATION IS UNSATISFACTORY. MACHINE NAILING IS NOT APPROVED IN 5/16" OR LESS SHEATHING.
 3. DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO SUPPORTS. DIAPHRAGM SHEATHING MUST BE BLOCKED AT EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.8(1)
 - E. PROVIDE MINIMUM NAILING PER TABLE 2304.10.2 OF CBC 2022, UON

STRUCTURAL DRAWING LIST	
Sheet Number	Sheet Name
S0 SERIES: SHEET LIST, GENERAL NOTES, TYPICAL DETAILS	
S0.0	MODEL 1 GENERAL NOTES
S0.1	MODEL 1 TYPICAL CONCRETE DETAILS
S0.2	MODEL 1 TYPICAL WOOD DETAILS
S0.3	MODEL 1 TYPICAL WOOD DETAILS
S1 SERIES: FOUNDATION & FRAMING PLANS	
S1.0	MODEL 1 FOUNDATION & FRAMING PLANS
S2.0 BUILDING SECTIONS & ELEVATIONS	
S2.0	MODEL 1 BUILDING SECTIONS & ELEVATIONS



NOTE:
THE ADU IS DESIGNED FOR LEVEL GRADE. THE CITY OF SOUTH GATE TO APPROVE LOCATION. CONTRACTOR TO VERIFY CONSTRUCTION WILL NOT UNDERMINE OR SURCHARGE ADJACENT PROPERTIES.

- DC** DESIGN CRITERIA
- DC-1** APPLICABLE CODE: 2022 CALIFORNIA BUILDING CODE.
- DC-2** FOUNDATION DESIGNS ARE IN ACCORDANCE WITH MINIMUM DESIGN RECOMMENDATIONS FOUND IN CHAPTER 18 OF CALIFORNIA BUILDING CODE.
- ALLOWABLE NET SOIL PRESSURE = 1500 PSF
COHESION = 130 PSF
- DC-3** GRAVITY LOADS:
- A. DEAD LOADS:
ROOFING = 5 PSF
SHEATHING = 2 PSF
JOISTS = 3 PSF
5/8" GYP CEILING = 2 PSF
MEP = 2 PSF
MISC = 2 PSF
- B. LIVE LOADS = 20 PSF (REDUCIBLE)
- DC-4** SEISMIC DESIGN:
- THE FOLLOWING VALUES HAVE BEEN USED FOR THE DESIGN OF THE LATERAL FORCE RESISTING SYSTEM. SEISMIC DESIGN CATEGORY, SITE CLASS, AND ALL SPECTRAL ACCELERATIONS MUST BE UPDATED TO SITE SPECIFIC VALUES.
- SEISMIC DESIGN CATEGORY = D
SITE CLASS = D (DEFAULT)
ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE
RHO = 1.3
Ss = 1.84
S1 = 0.65
SDS = 1.472
SDI = 1.105
I = 1.0 FOR OCCUPANCY CATEGORY (II)
- LFRS = LIGHT-FRAMED WOOD SHEAR WALLS
R = 6.5
OVERSTRENGTH = 2.5
Cs = 0.237
BASE SHEAR V= 7.4K
- DC-5** WIND DESIGN:
- BASIC WIND SPEED, V = 94 MPH (3 SECOND GUST)
Kd = 0.85
EXPOSURE CATEGORY = B
Kzt = 1.0
GUST EFFECT FACTOR = 0.85
ENCLOSURE CLASSIFICATION = CLOSED
INTERNAL PRESSURE COEFFICIENT GCp1 = ±0.18
Kz = 0.70
qz = 15 PSF
RISK CATEGORY = II

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PLAN REVIEW APPROVAL

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BY: *Mohammed Aljoudi* DATE: 12/5/2024

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CITY OF SOUTH GATE

PERMIT READY
ADU PLAN SET

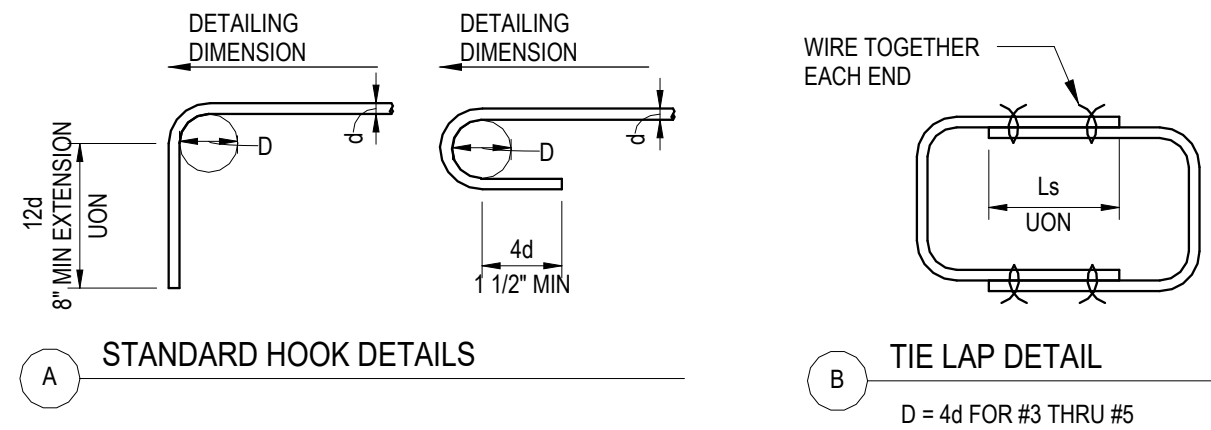
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MODEL 1 GENERAL
NOTES

S0.0

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NOTES:
1. SEE DETAIL [6 / S0.1] FOR REINFORCING DEVELOPMENT AND SPLICE LENGTHS SCHEDULE.

5 BAR BENDING DETAIL

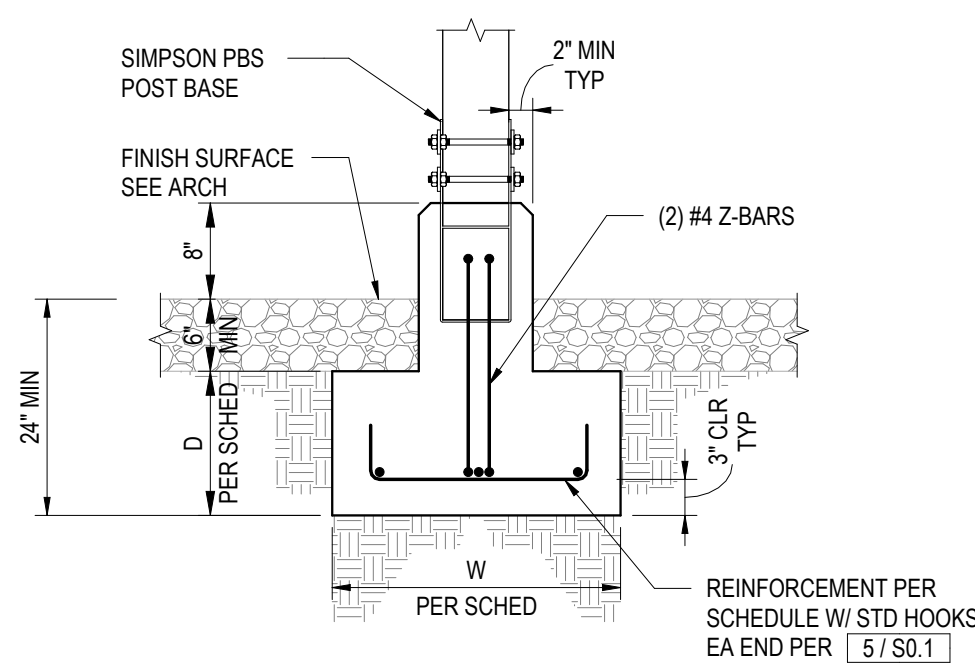
NOT TO SCALE

CONCRETE REINFORCING DEVELOPMENT AND SPLICE LENGTHS (IN)														
CONDITION	MAX DISTANCE FROM BOTTOM OF BAR TO BOTTOM OF CONCRETE POUR	CONC TYPE	BAR SIZE											
			#3			#4			#5			#6		
			Ld	LS	Ldh	Ld	LS	Ldh	Ld	LS	Ldh	Ld	LS	Ldh
ALL CASES	≥ 12"	NWC	25	32	8	33	43	11	41	54	11	50	65	13
	< 12"	NWC	19	25	5	25	33	6	32	41	11	38	50	13

NOTES:
1. REINFORCEMENT DEVELOPMENT AND SPLICE LENGTHS APPLY TO CONCRETE STRENGTH $f_c \geq 2.5$ KSI
2. d = BAR DIAMETER

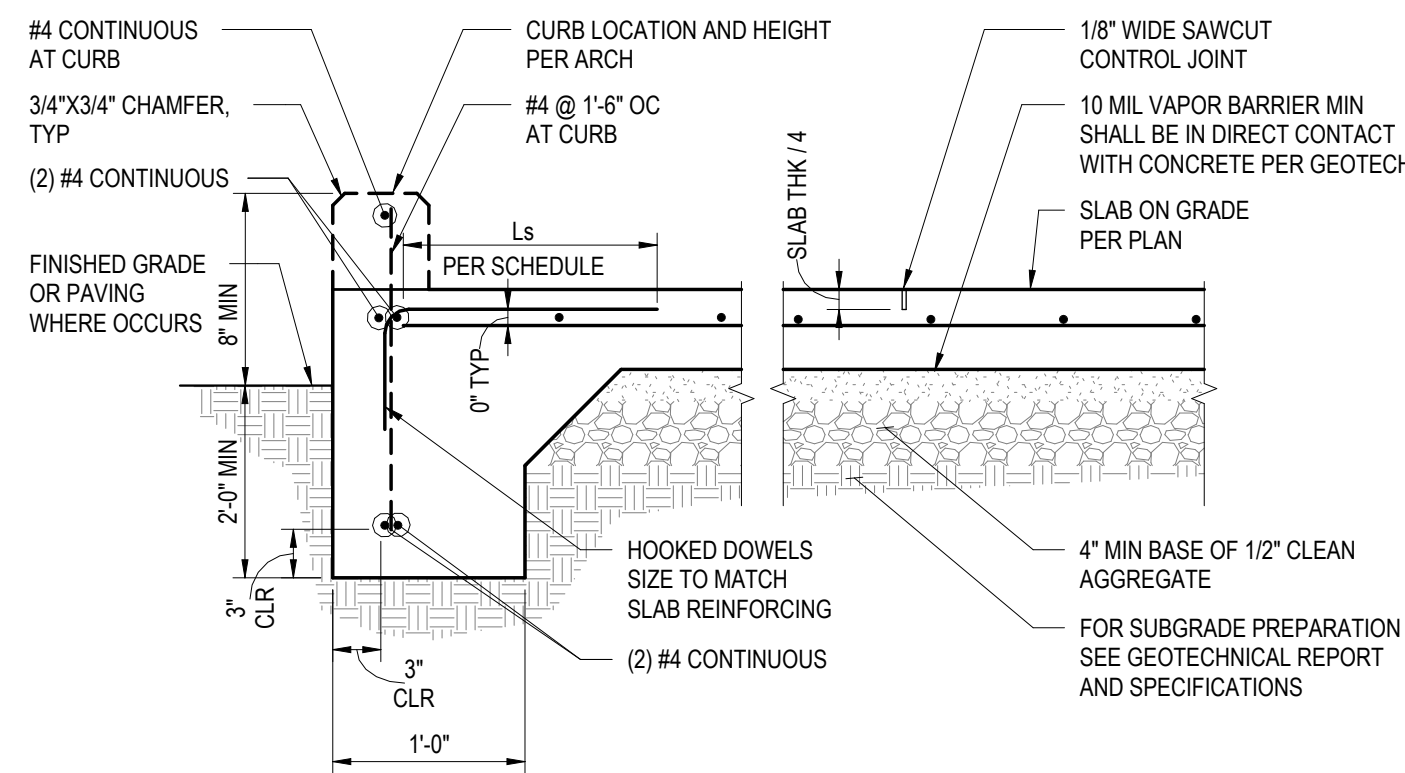
6 REINFORCING DEVELOPMENT & SPLICE LENGTHS

NOT TO SCALE



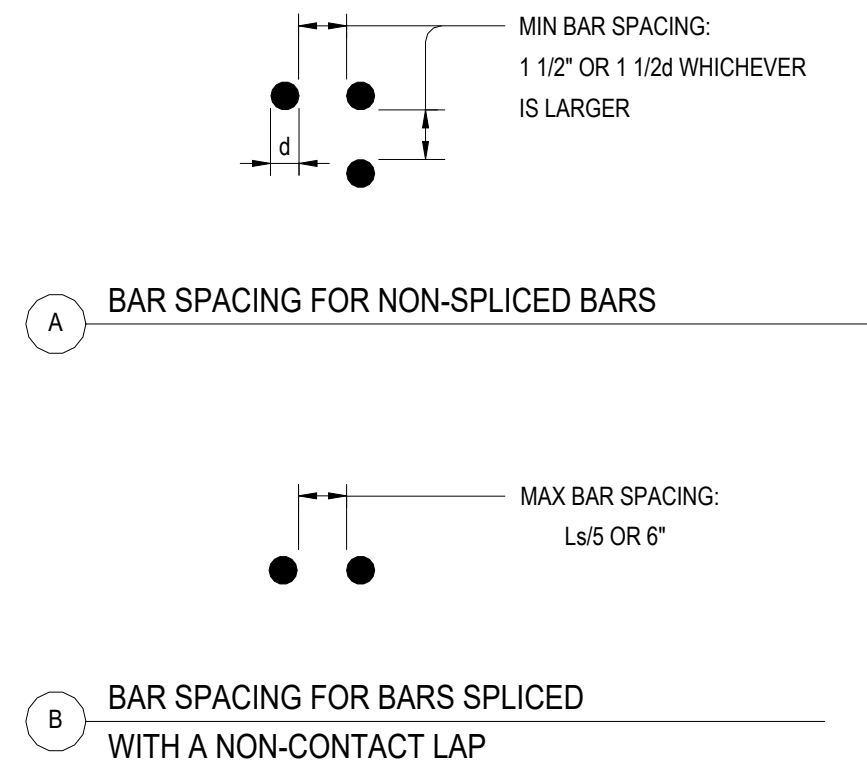
7 ISOLATED POST FOOTING

NOT TO SCALE



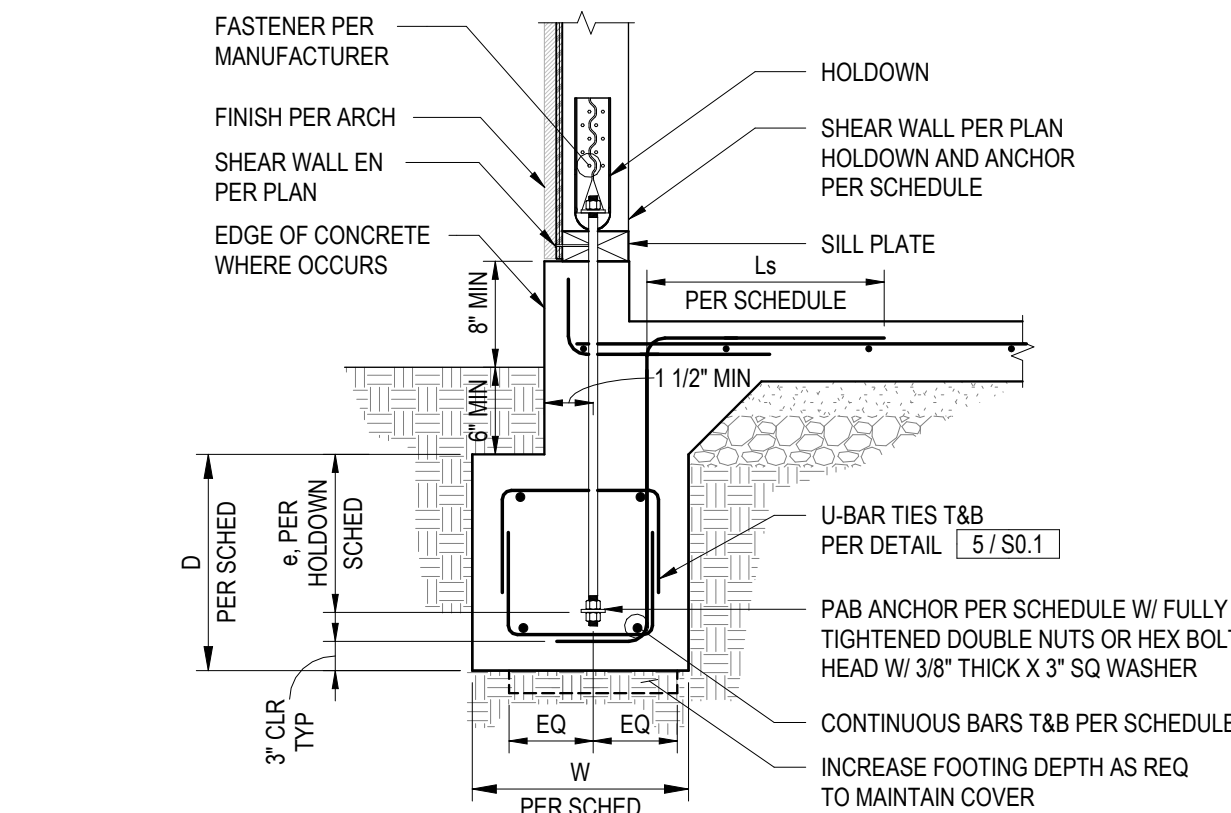
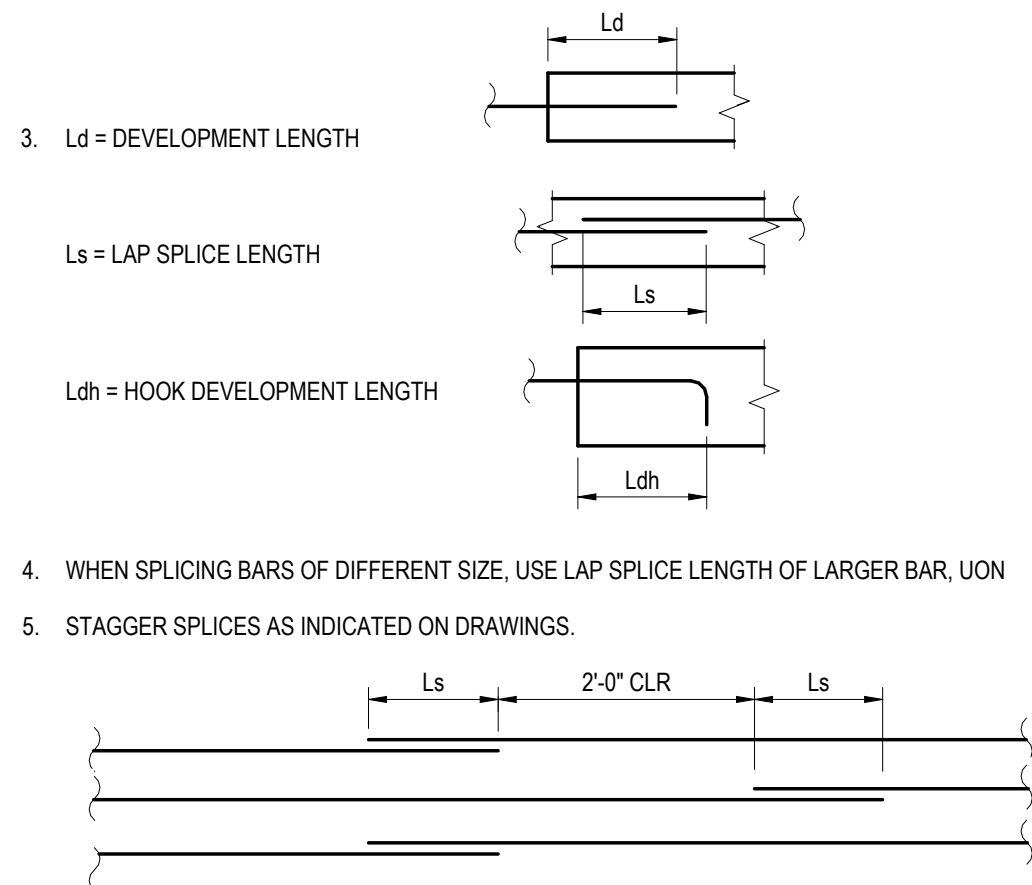
8 SLAB ON GRADE & CONTROL JOINT

NOT TO SCALE



1 BAR SPACING IN CONCRETE

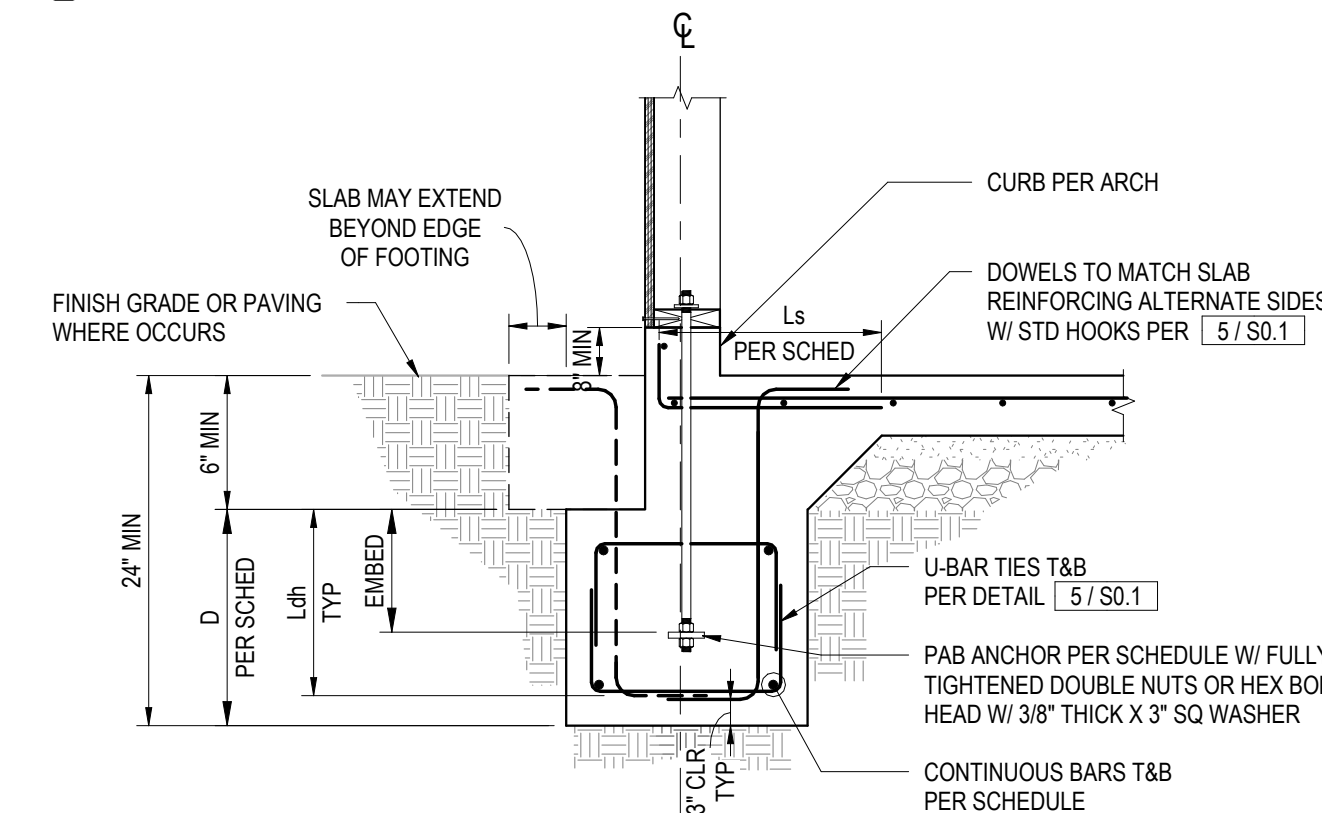
NOT TO SCALE



NOTES:
1. HD# = SIMPSON HOLDOWN (ICC-ESR #2330)

3 CONTINUOUS FOOTING AT HOLDOWN

NOT TO SCALE



4 EXTERIOR CONTINUOUS FOOTING TYP SILL CONNECTION

NOT TO SCALE

MODEL 1 TYPICAL CONCRETE DETAILS

S0.1

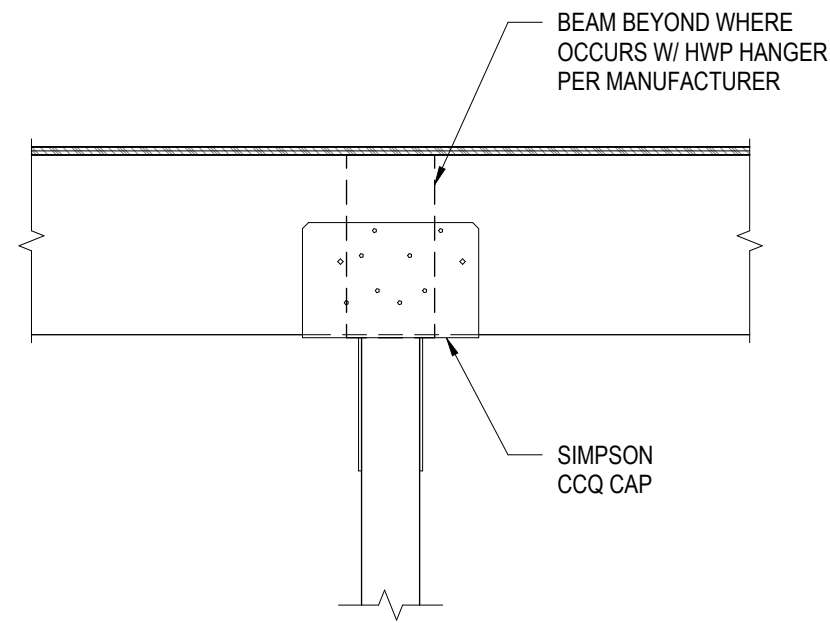
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PLAN REVIEW APPROVAL

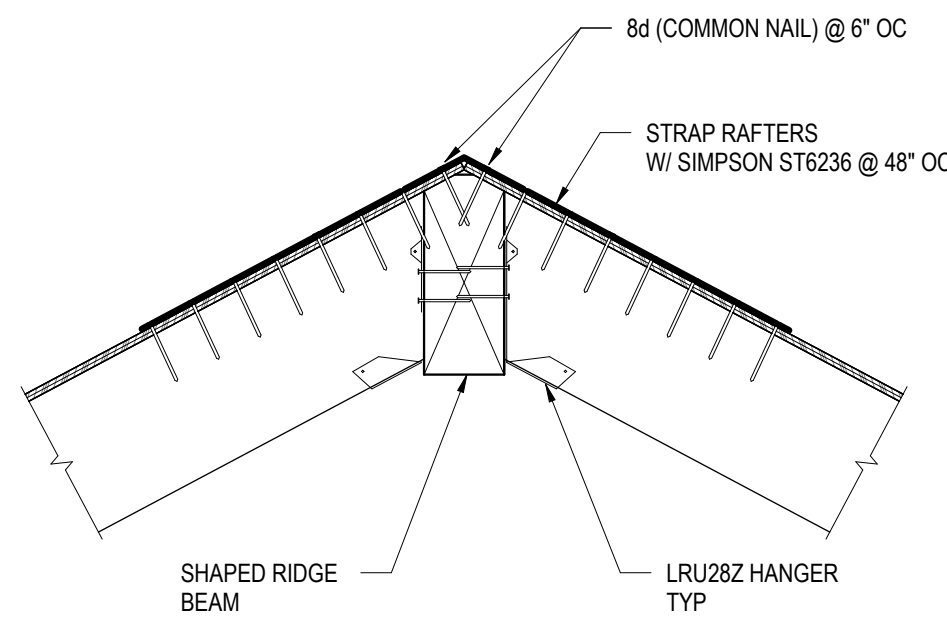
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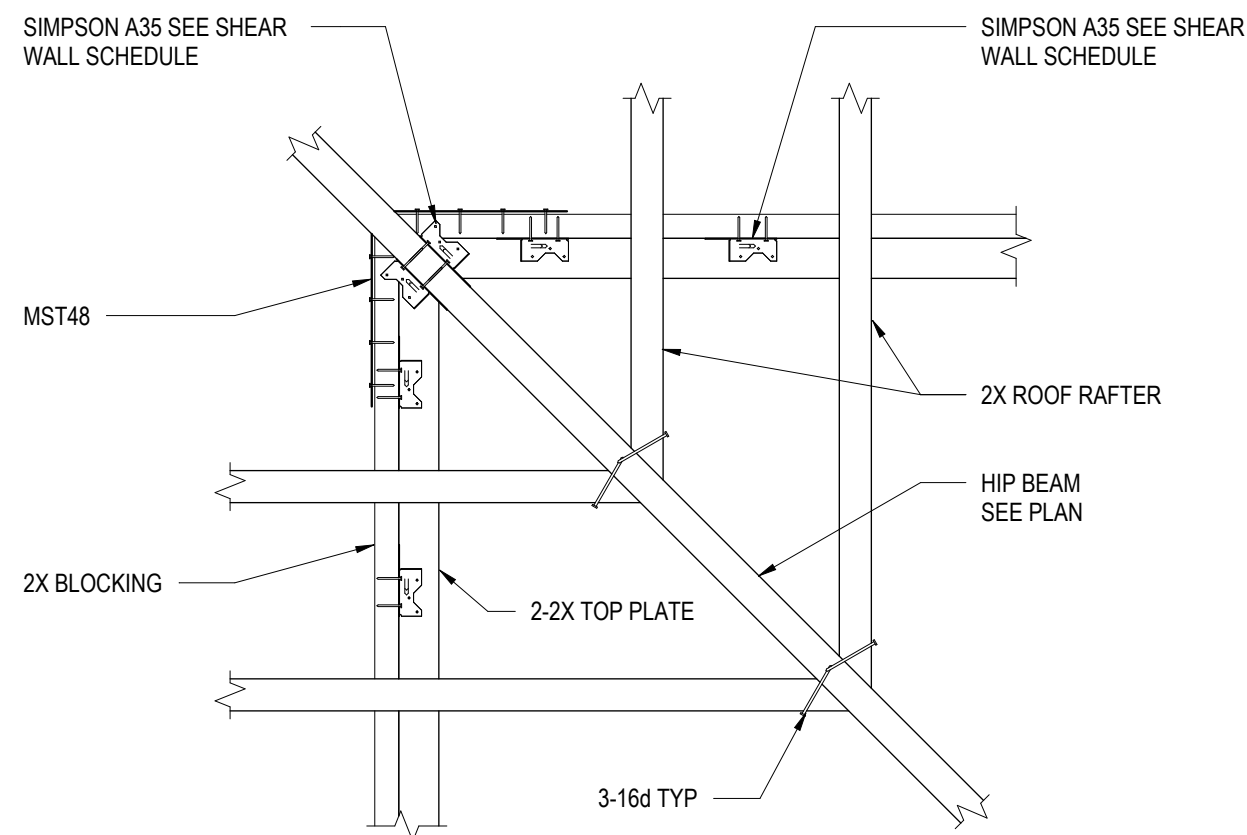
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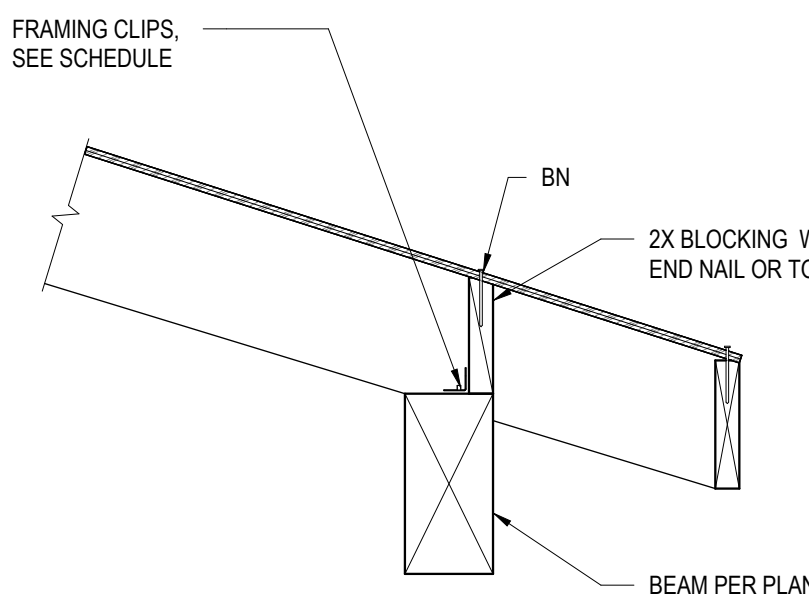
5 WOOD POST TO WOOD BEAM
NOT TO SCALE



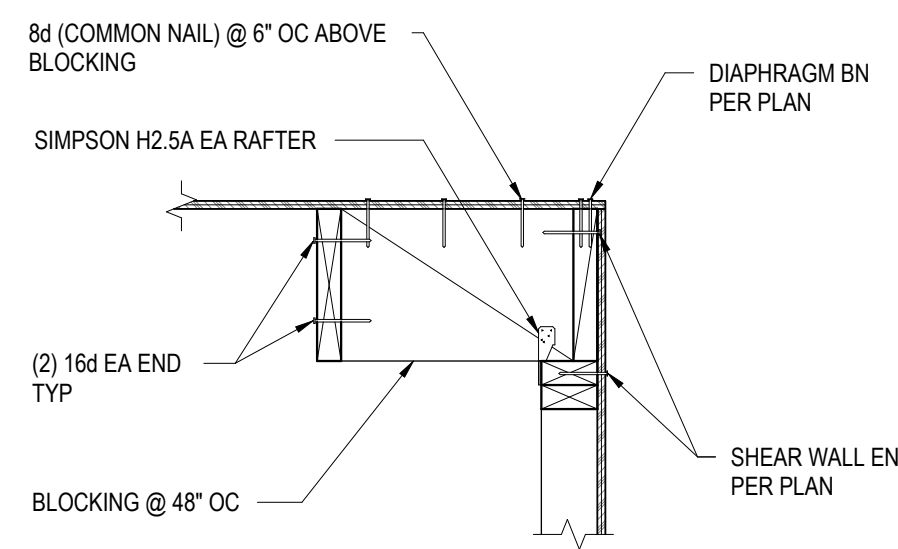
6 RAFTERS TO RIDGE BEAM
NOT TO SCALE



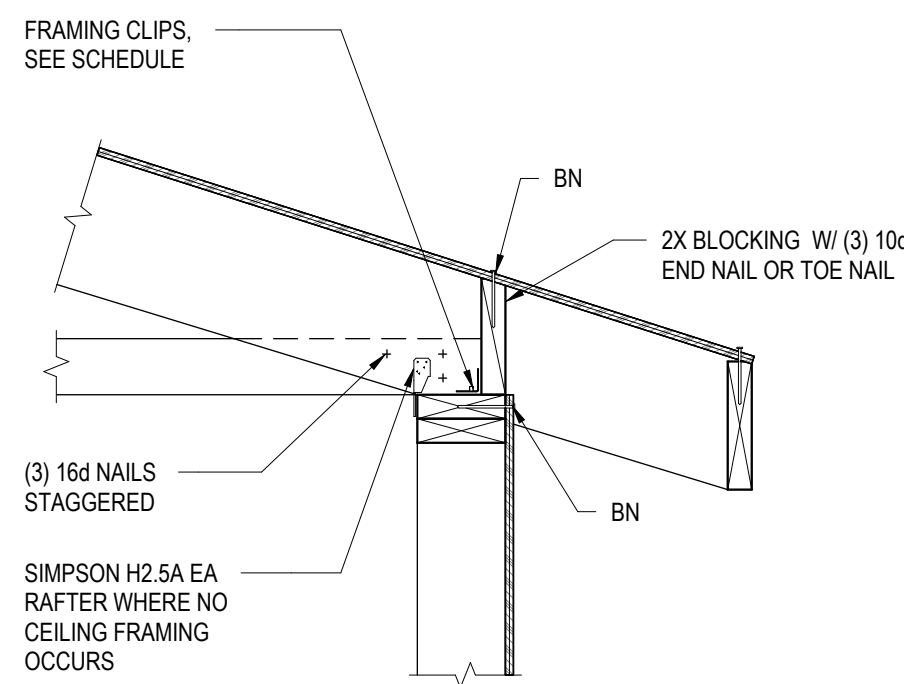
7 HIP CONNECTION DETAIL AT ROOF
NOT TO SCALE



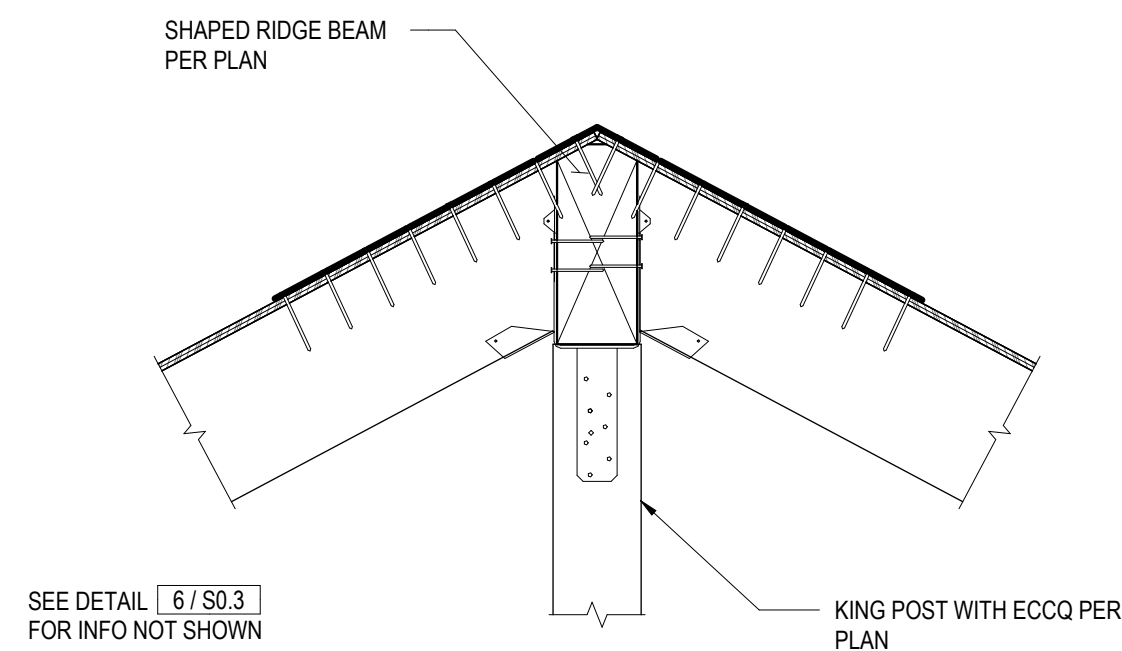
8 ROOF RAFTERS TO BEAM CONNECTION
NOT TO SCALE



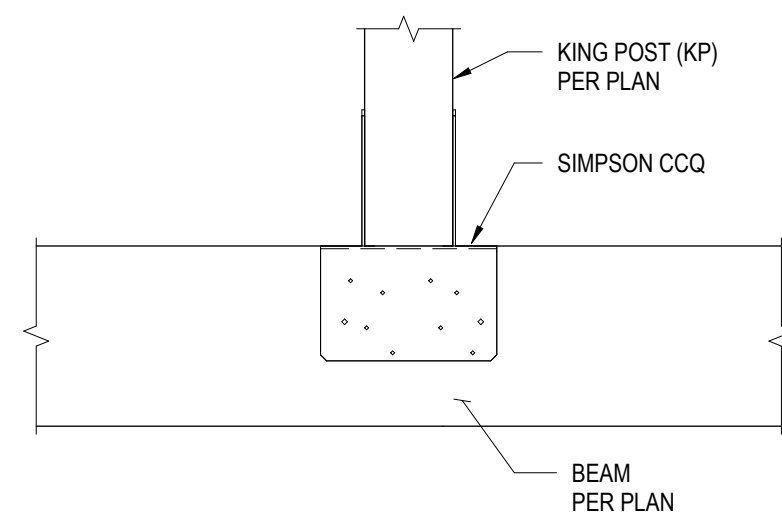
1 SHEAR WALL CONNECTION TO ROOF
PARALLEL RAFTERS
NOT TO SCALE



2 SHEAR WALL CONNECTION TO ROOF
PERPENDICULAR RAFTERS
NOT TO SCALE



3 RAFTERS TO RIDGE BEAM AT KING POST
NOT TO SCALE



4 KING POST TO BEAM
NOT TO SCALE

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BY *Mohammed Hamed* DATE: 12/5/2024

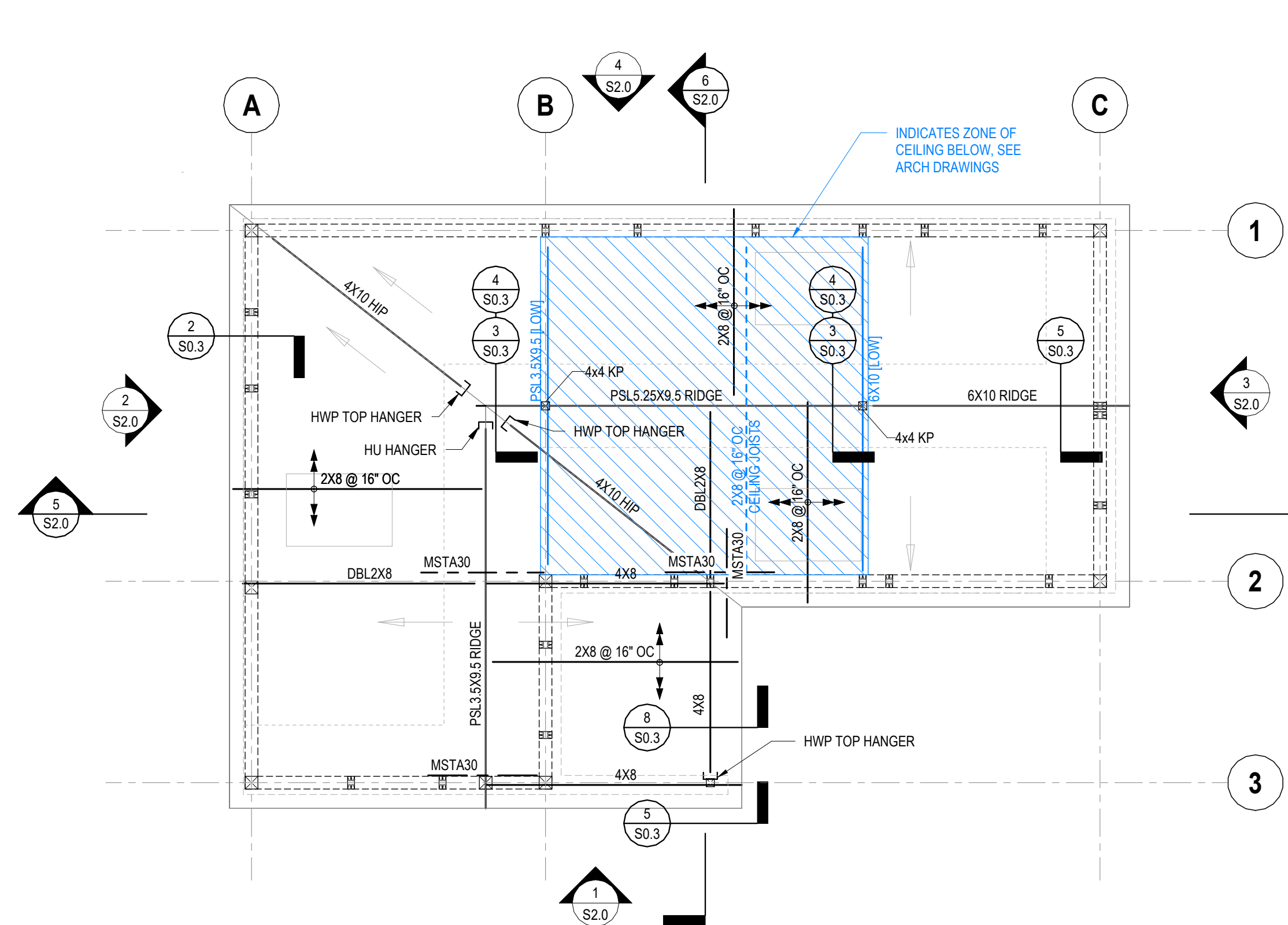
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MODEL 1 TYPICAL WOOD
DETAILS

S0.3

PERMIT READY
ADU PLAN SET

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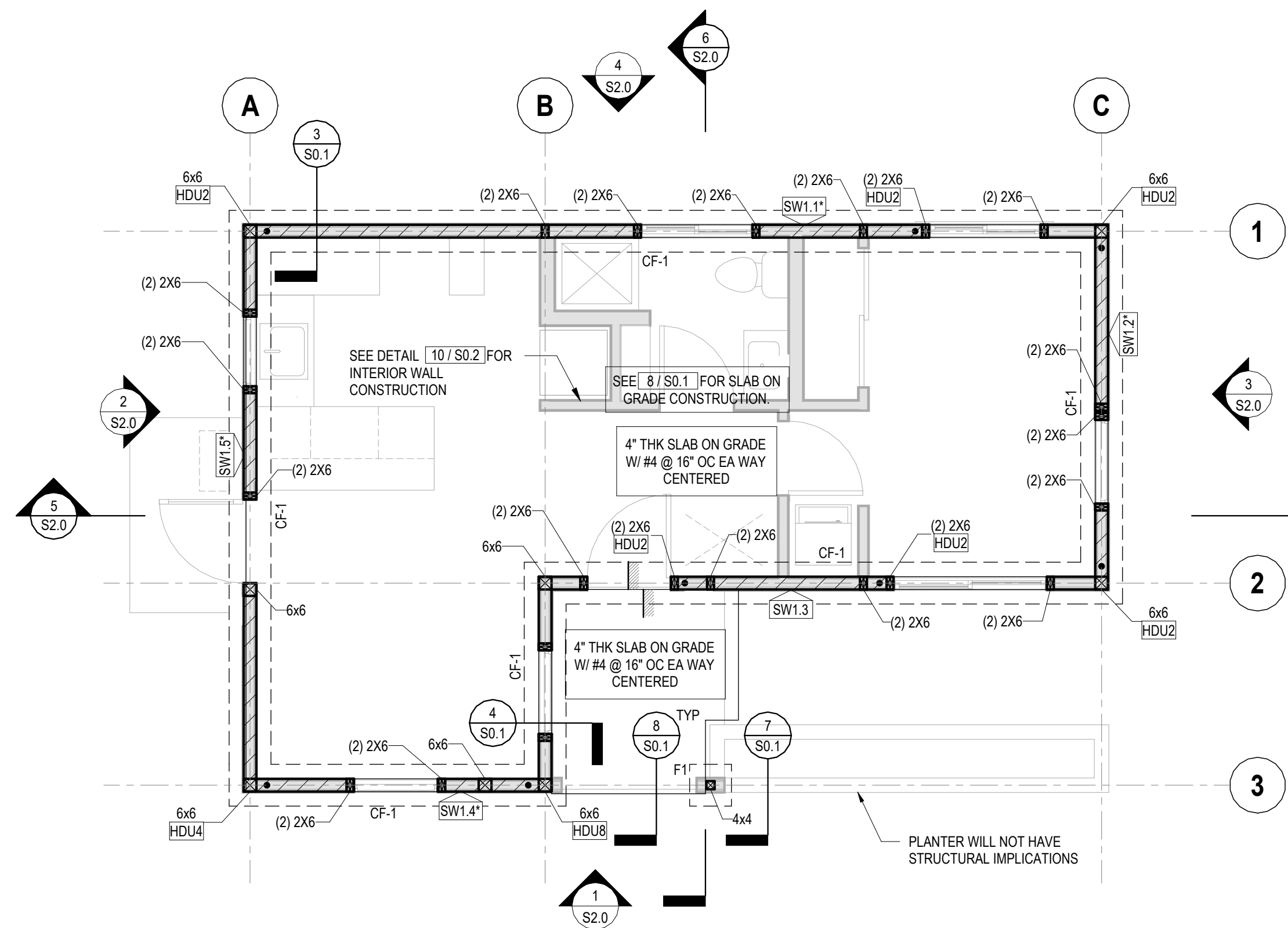


FRAMING PLAN NOTES

- GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF EQUIPMENT SUPPORT BEAMS AND BEAMS AROUND OPENINGS WITH ALL PROJECT REQUIREMENTS.
- PROVIDE 15/32" DIAPHRAGM (ROOF) SHEATHING WITH 6, 6, 12 & 12 NAILING (BN, EN, FN). SEE DETAIL 16/S0.2 FOR ADDITIONAL INFORMATION.
- ALL DRAG STRAPS PER PLAN TO BE INSTALLED PER MANUFACTURER.

2 ROOF FRAMING PLAN

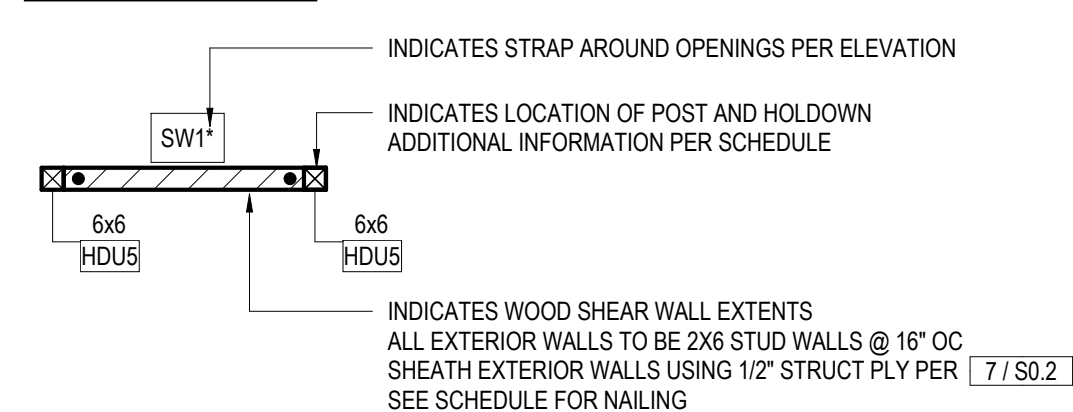
1/4" = 1'-0"



FOUNDATION PLAN NOTES

- TOP OF FOOTING ELEVATION TO BE 1'-0" MIN BELOW TOP OF SLAB OR FINISHED GRADE, UON.
- REFER TO S0 SERIES SHEETS FOR GENERAL NOTES AND TYPICAL DETAILS.
- REFER TO ARCHITECTURAL DRAWINGS FOR SETTING OUT DIMENSIONS.
- ALL FOUNDATION EXCAVATIONS MUST BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLING REBAR.
- EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. NO MATERIAL IS TO BE EXCAVATED UNNECESSARILY.
- CURBS AND DEPRESSIONS ARE SHOWN FOR REFERENCE ONLY. SEE ARCH DWGS FOR LOCATIONS, HEIGHT, AND THICKNESS.
- SEE ARCH DWGS FOR EDGE OF SLAB LOCATIONS.
- VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATIONS. NOTIFY ARCHITECT PRIOR TO EXCAVATION IN THE EVENT SUCH UTILITIES ARE ENCOUNTERED.
- FOR DRAINAGE DETAILS, SUMPS, PITS, DAMP PROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT DETAILS, STEPS, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL.
- PROVIDE A 6" CURB AT EXTERIOR TIMBER WALLS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.

FOUNDATION PLAN LEGEND



1 GROUND FLOOR FOUNDATION PLAN

1/4" = 1'-0"

CONTINUOUS FOOTING SCHEDULE

TYPE MARK	WIDTH, W	DEPTH, D	TOP BARS	BOTTOM BARS	TIES
CF-1	1'-6"	1'-0"	(3) #5	(3) #5	#4 @ 18" OC

ISOLATED FOOTING SCHEDULE

TYPE MARK	WIDTH, W	LENGTH, B	DEPTH, D	TOP BARS	BOTTOM BARS
F1	1'-6"	1'-6"	1'-0"	-	(3) #4

HOLDOWN SCHEDULE

TYPE	FOUNDATION EMBED, e	ANCHOR ROD DIAMETER	WOOD FASTENER
HDU2	8"	5/8"	(6) 1/4 X 1 1/2 SDS
HDU4	8"	5/8"	(10) 1/4 X 1 1/2 SDS
HDU8	8"	7/8"	(20) 1/4 X 1 1/2 SDS

WOOD SHEAR WALL SCHEDULE

WALL ID	SHEAR WALL NAILING (BN, EN, FN)	LENGTH	WIDTH
SW1.1"	6", 6", 12"	24'-0"	5 1/2"
SW1.2"	6", 6", 12"	12'-6"	5 1/2"
SW1.3	4", 4", 12"	8'-0"	5 1/2"
SW1.4"	6", 6", 12"	10'-6"	5 1/2"
SW1.5"	4", 4", 12"	20'-0"	5 1/2"

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PLAN REVIEW APPROVAL

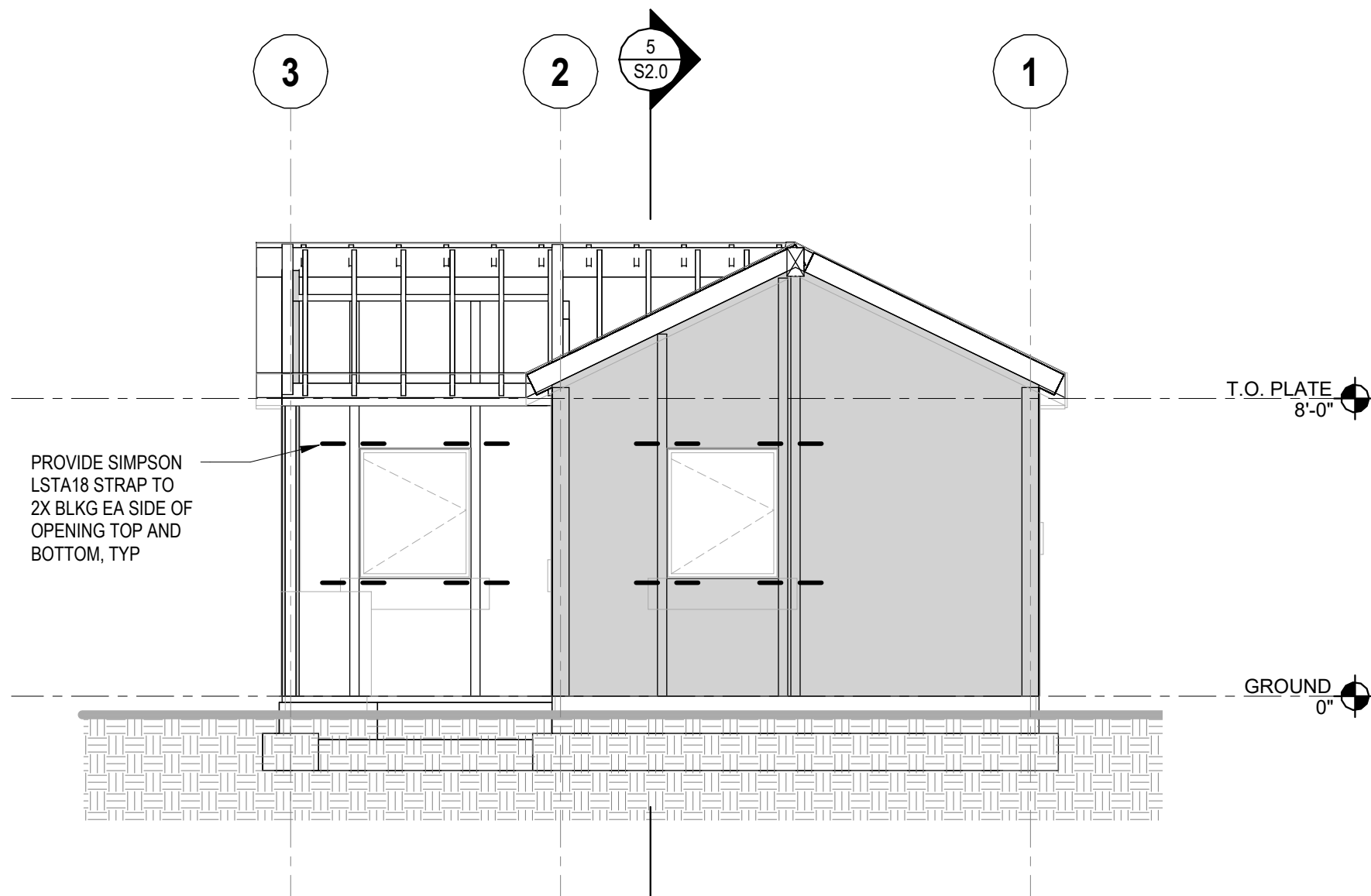
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MODEL 1 FOUNDATION &
FRAMING PLANS

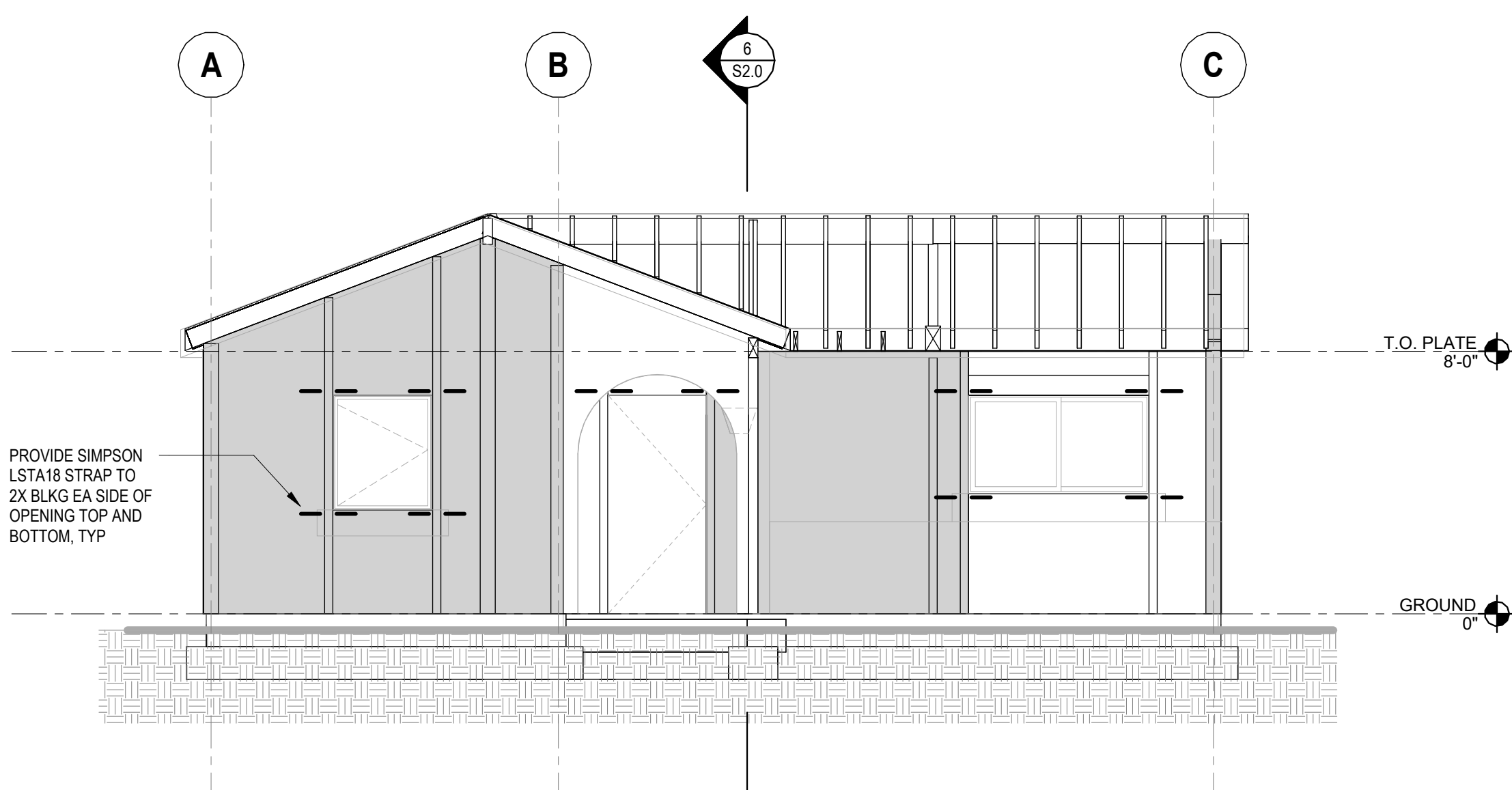
S1.0

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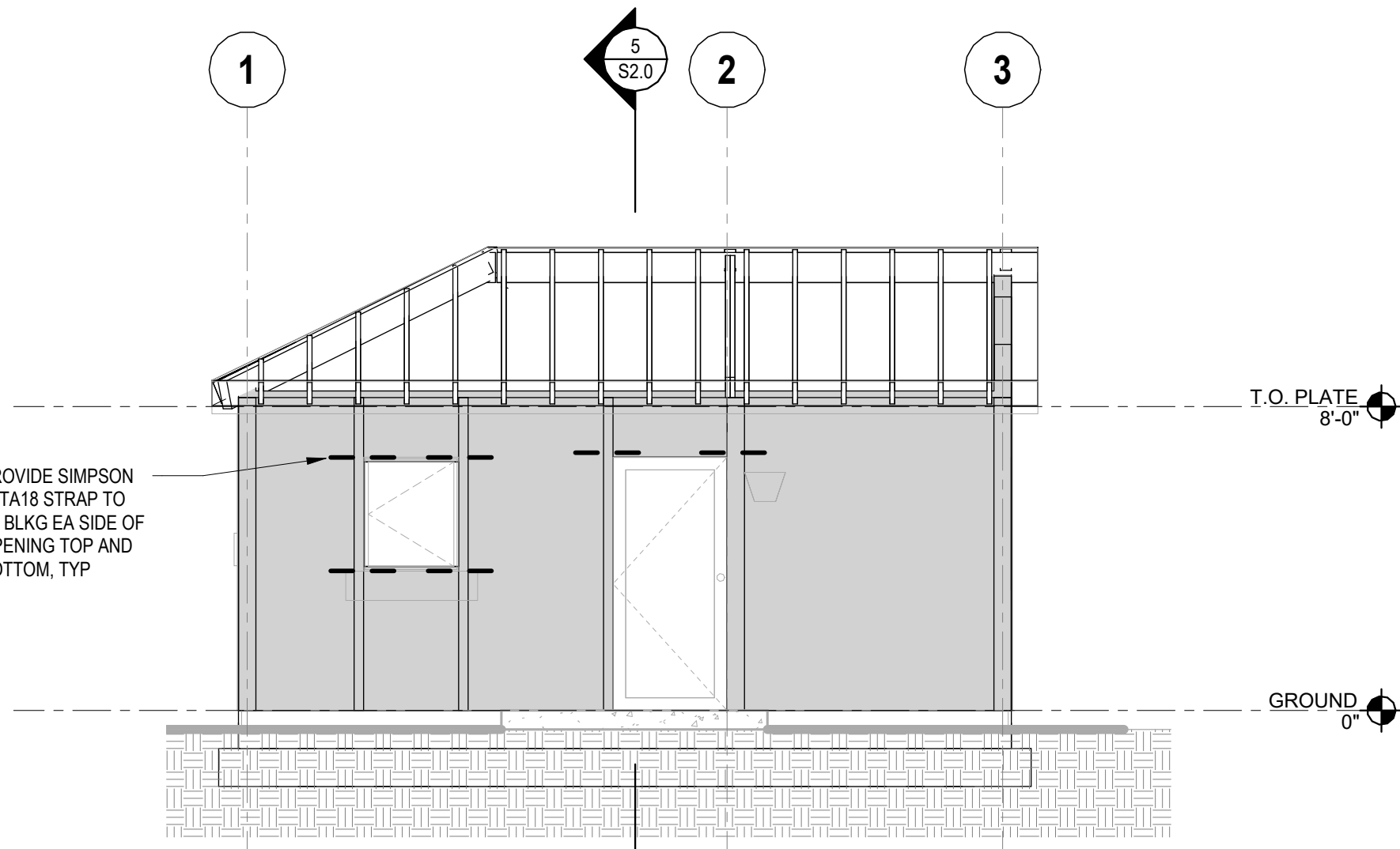
NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY. SEE PLANS FOR DETAIL REFERENCES.

3 ELEVATION
1/4" = 1'-0"



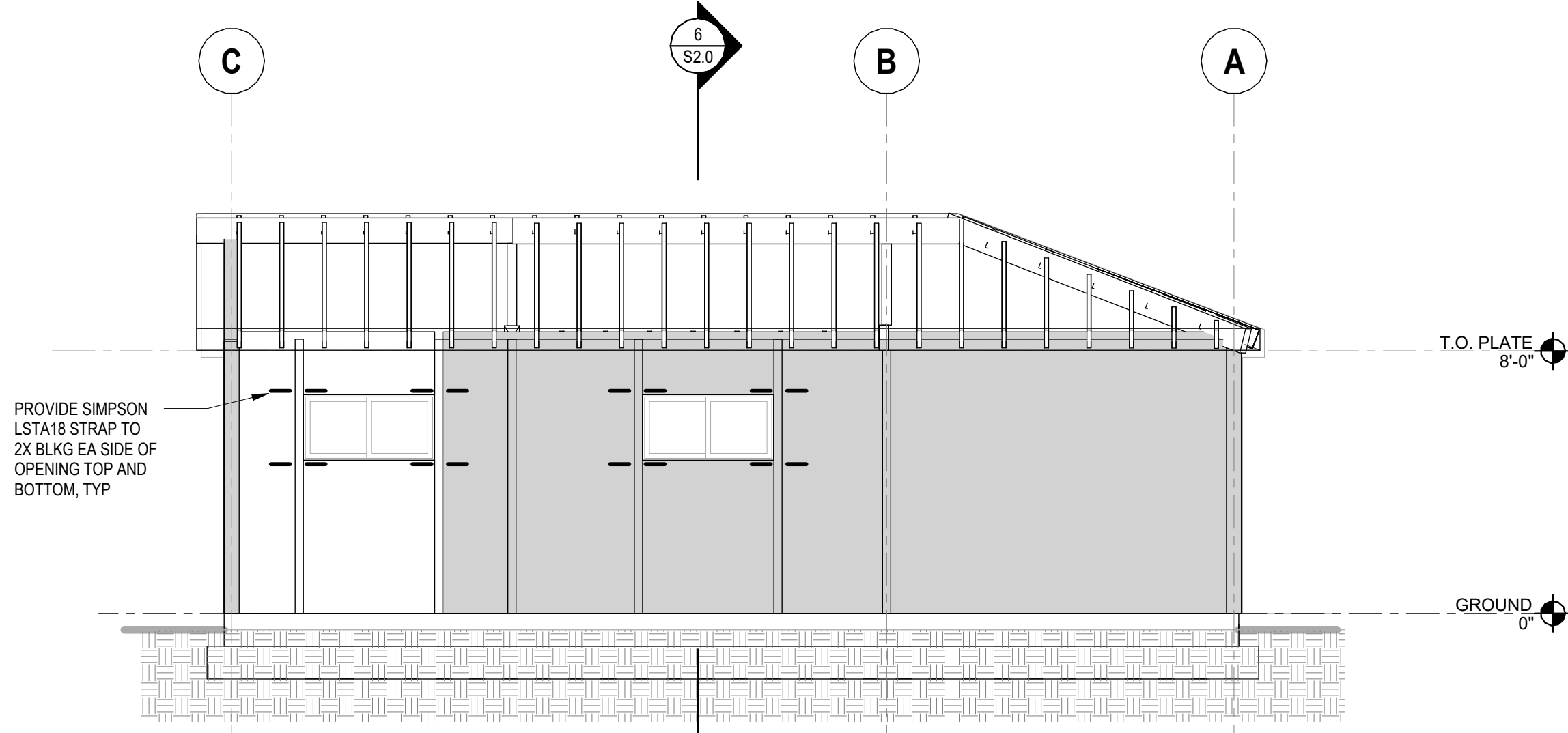
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1 ELEVATION
1/4" = 1'-0"



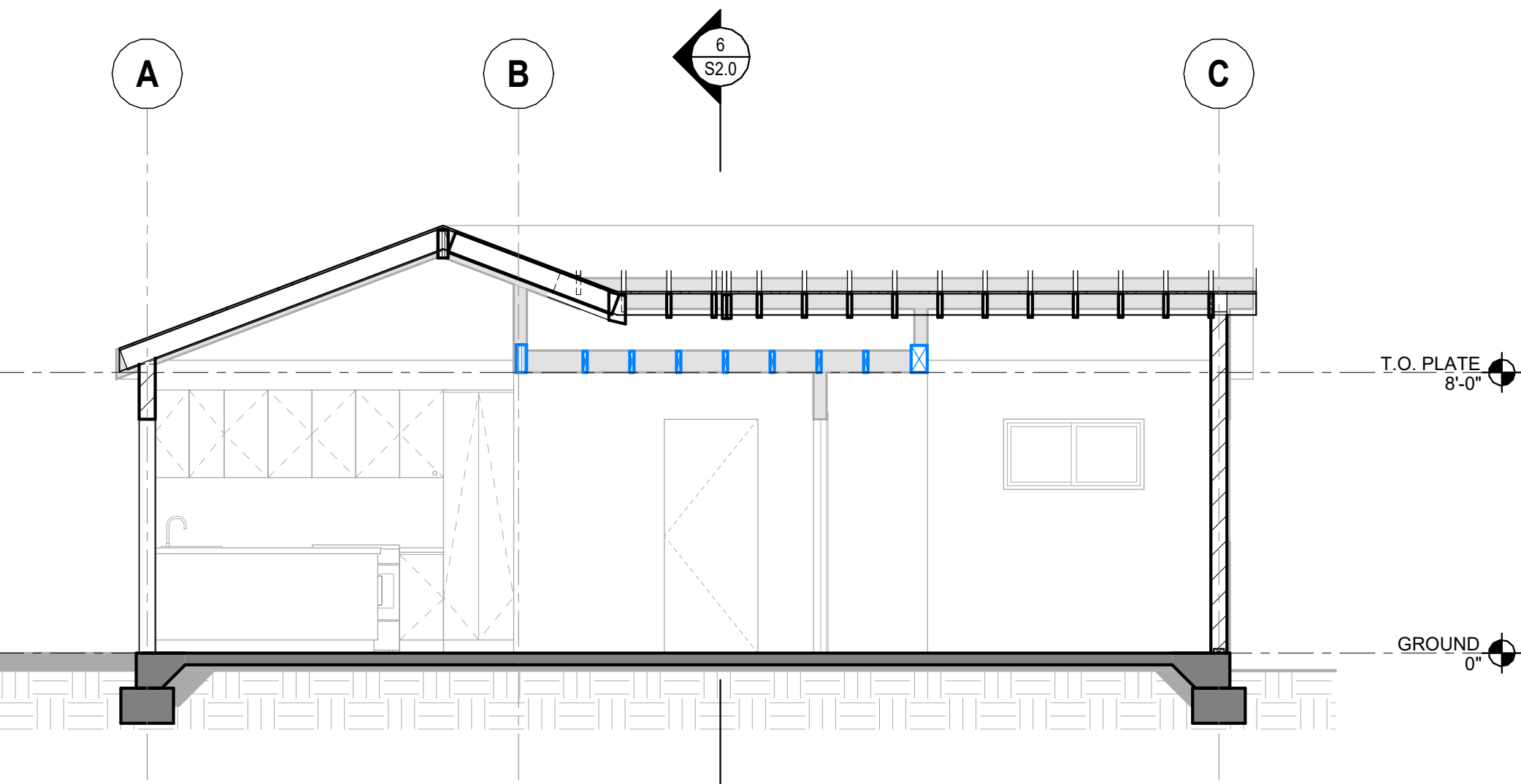
NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY. SEE PLANS FOR DETAIL REFERENCES.

2 ELEVATION
1/4" = 1'-0"



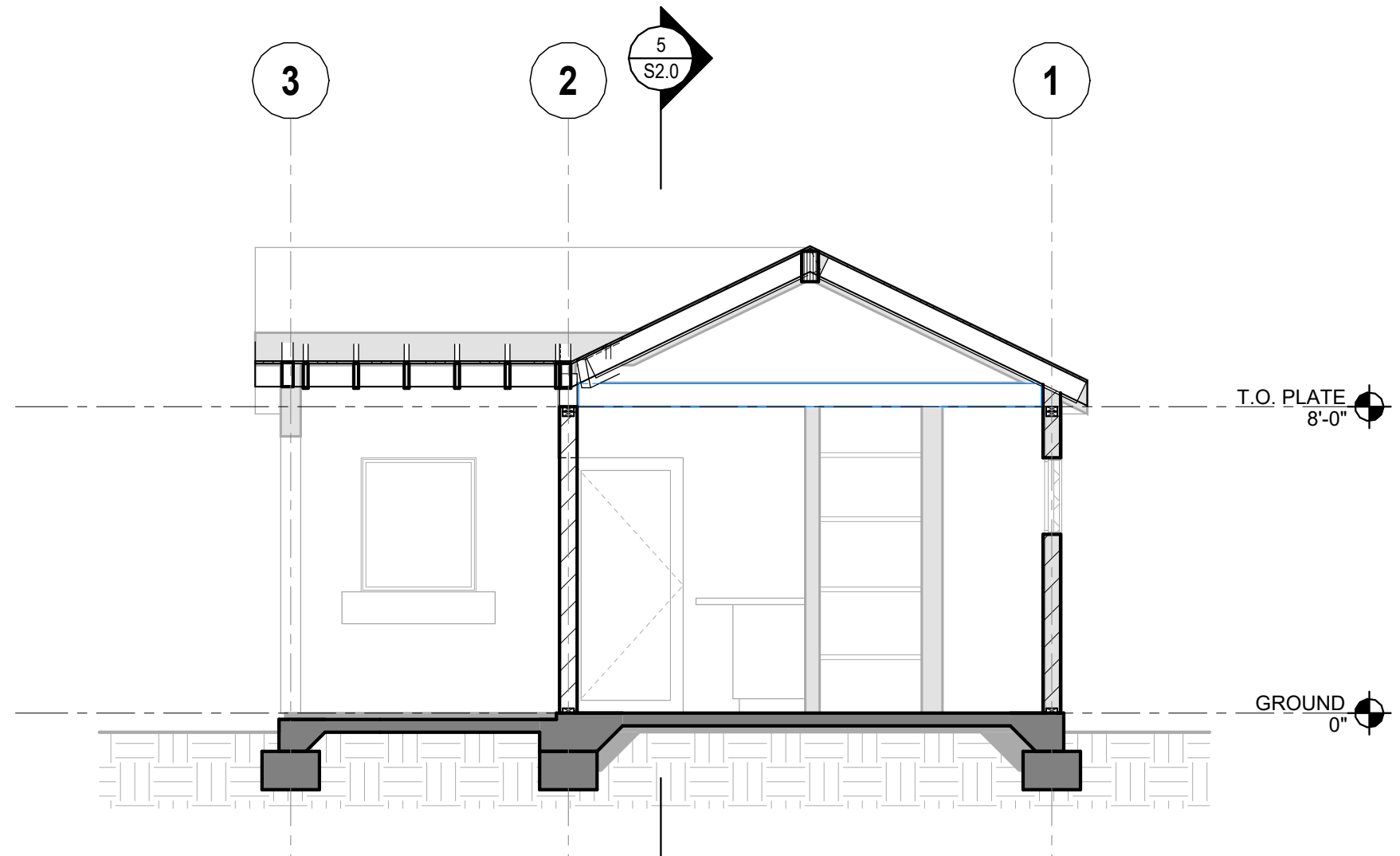
NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY. SEE PLANS FOR DETAIL REFERENCES.

4 ELEVATION
1/4" = 1'-0"



NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY. SEE PLANS FOR DETAIL REFERENCES.

5 SECTION
1/4" = 1'-0"



NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY. SEE PLANS FOR DETAIL REFERENCES.

1 SECTION
1/4" = 1'-0"

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BY: *Mohammed Ahmed* DATE: 12/25/2024
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MODEL 1 BUILDING
SECTIONS &
ELEVATIONS

S2.0