

CITY OF SOUTH GATE Permit Ready ADU

SCOPE: A single story new 1-bedroom 1-bath 460 sq ft Accessory Dwelling Unit.

ABOUT THIS PLAN SET

The Permit Ready ADU Plans program offers a selection of ADU plans for South Gate Residents. The plans have already gone through part of the plan check process in order to help fast-track approvals. To learn more about the program visit the Pre-Approved ADU Plan Program page at the City website. In order to complete the Plan Set, project specific information needs to be provided by the property owner on the Title Sheet (Sheet A0.0). Follow the steps below to complete the "Title Sheet".

How to Fill out this Title Sheet

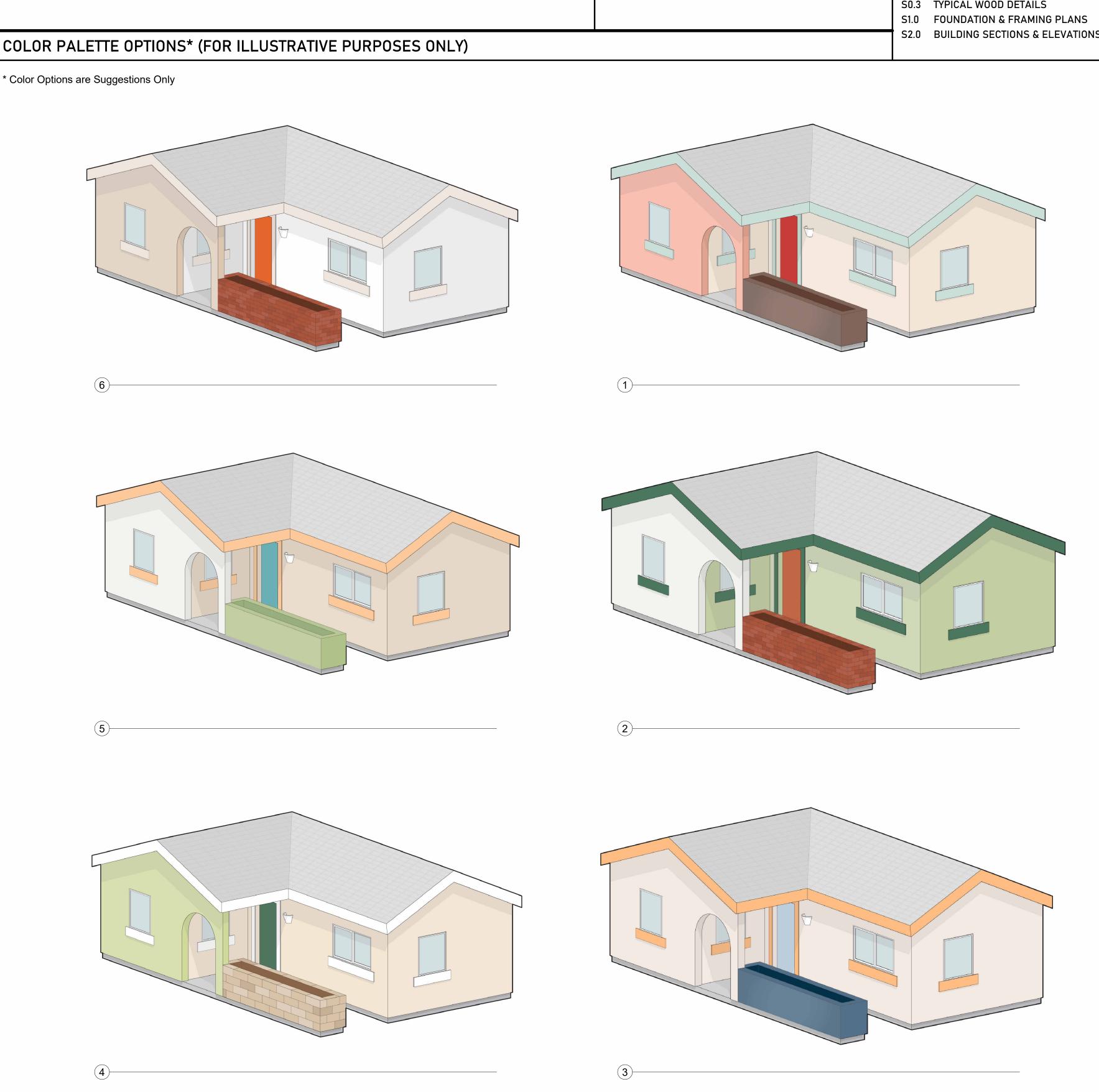
- 1. Complete the OWNER INFORMATION in Section 1, and PROJECT INFORMATION in Section 2. Legal Description and Zoning can be found on the South Gate Property Information Portal.
- 2. Provide FLOOR AREA CALCULATIONS in Section 3.
- 3. Place a VICINITY MAP in Section 4.
- 4. Create and Place a Site Plan in OWNER PROVIDED SITE PLAN in Section 5. Further instructions on Site Plan requirements can be found under SITE PLAN REQUIREMENTS.
- 5. After completing the Title Sheet, and all requirements in the Application Instructions, submit all materials to Planninginfo@sogate.org.
- 6. City staff will notify you once your application has been accepted and deemed complete.

HOLD HARMLESS AGREEMENT

The applicant ("Owner") has requested the use of the City of South Gate Accessory Dwelling Unit (ADU) preapproved plans ("Plans") at the property indicated above. By accepting and/or using the Plans, Owner agrees to and does hereby release, hold harmless, and indemnify the City, its officials, officers, employees, volunteers, agents, and the engineers and/or architects who prepared the Plans (collectively, the "Released Parties"), free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, direct or consequential damage or injury of any kind, in law or equity, to property or persons, in any manner arising out of, pertaining to, related to, or incident to Owner's use of the Plans (collectively, the "Claims").

Applicant Signature	Date		
OWNER INFORMATION	1 FLOOR AREA CALCULATIONS 3		
Name	Lot Area		
Address			
Phone	Dwelling Garage		
Email			
PROJECT INFORMATION	New Buildngs ADU 414 SQ FT		
Project Address	Covered Porch 46 SQ FT Total Area		
Legal Description	(New Buildings + Existing Buildings = Total Area) 460 SQ FT + =		
Zone	Convered Percentage (Total Area/Lot Area)		
Required Parking No	The following items are to be provided at time of submission:		
Occupant Group R-3	 Title 24 Report Geotechnical Report Isometric Gas Line (for any gas appliances and/or water heaters) unless a dedicated gas line will be provided 		
Construction Type Type VB ADU Size 460 SQ FT	The following items are not included in this scope of work and are to be submitted as Deferred Submittals: • Sprinklers systems as required		
ADU Height 1 Story, 12' - 2"	Photovoltaic System		

PROJECT TEAM			BUILDING CODES	DRAWING INDEX
The City of South Gate Community Development 8650 California Ave, South Gate, CA 90280	Office of: Office 1370 N St Andrews Place #221 Los Angeles, CA 90068 Phone. 213.282.8123 Email. office@officeofoffice.com	NOUS Engineering 5050 Eagle Rock Blvd, Los Angeles, CA 90041 Email. hello@nousengineering.com	2022 California Building Code (Volume I and II); 2022 California Residential Building Code; 2022 California Plumbing Code; 2022 California Electrical Code; 2022 California Mechanicla Code; 2022 California Energy Code 2022 California Green Building Standards Code; South Gate Municipal Code, Title 9	A0.0 TITLE SHEET A0.1 SITE PLAN A0.3 GREEN BUILDING STANDARDS CODE A0.4 GREEN BUILDING STANDARDS CODE A1.0 PLANS A2.0 ELEVATIONS A2.1 MATERIAL SHEET S0.0 GENERAL NOTES S0.1 TYPICAL CONCRETE DETAILS S0.2 TYPICAL WOOD DETAILS S0.3 TYPICAL WOOD DETAILS S1.0 FOUNDATION & FRAMING PLANS
COLOR PALETTE OPTIO	NS* (FOR ILLUSTRATIVE PUR	POSES ONLY)		S2.0 BUILDING SECTIONS & ELEVATIONS



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True North Compliance Services, Inc.

PLAN REVIEW APPROVAL

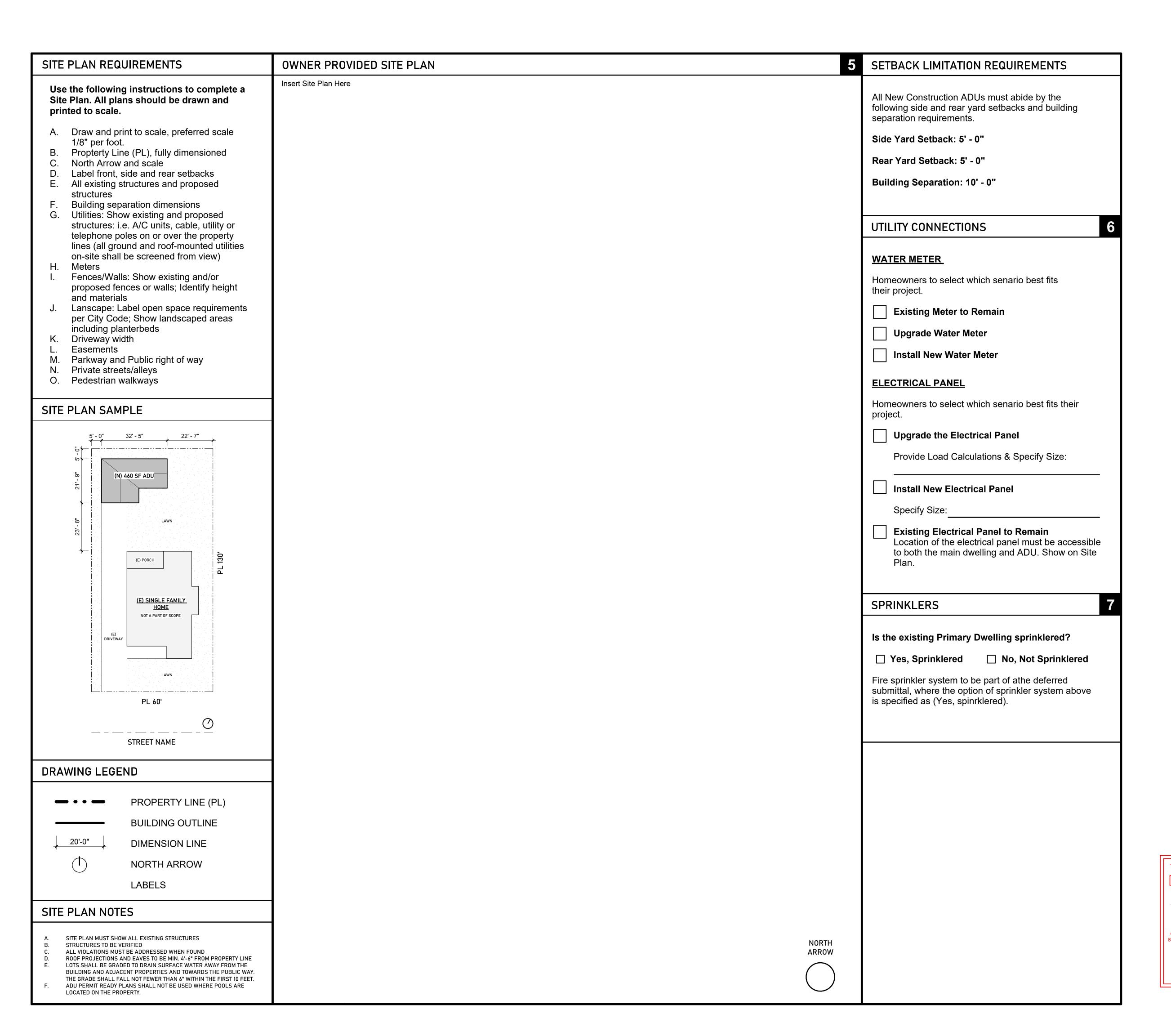
THESE PLANS/DOCUMENTS HAVE BEEN
REVIEWED FOR COMPLIANCE WITH THE
APPLICABLE CALIFORNIA BUILDING STANDARDS
CODES AS ADOPTED BY THE STATE OF
CALIFORNIA AND AMENDED BY THE
JURISDICTION. PLAN REVIEW ACCEPTANCE OF
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BY ALL APPLICABLE DEPARTMENTS.

TITLE SHEET

A0.0



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True North Compliance Services, Inc.

PLAN REVIEW APPROVAL

THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION.

NY: Mohammed Afanch DATE: 12/5/2024

BY: Mohammed Afaneh DATE: 12/5/2024

THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY. OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED

BY ALL APPLICABLE DEPARTMENTS.

SITE PLAN

A0.1

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)

Y N/A RESPON. CHAPTER 3 **GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. **SECTION 302 MIXED OCCUPANCY BUILDINGS** 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. **DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS:** Department of Housing and Community Development California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety Office of Statewide Health Planning and Development Low Rise High Rise Additions and Alterations **CHAPTER 4** RESIDENTIAL MANDATORY MEASURES **SECTION 4.102 DEFINITIONS** 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. . Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) **4.106.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 2. Water collection and disposal systems . Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater **Exception**: Additions and alterations not altering the drainage path. **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Section 4.106.4.1 or 4.106.4.2. Electric vehicle supply equipment (EVSE) shall comply with the California Electrical Code. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

overcurrent protective device.

accordance with the California Electrical Code.

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Section 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as an EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. 4.106.4.2.2 Multifamily dwellings, hotels and motels 1. EV ready parking spaces with receptacles. a. Hotels and motels. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. b. Multifamily parking facilities. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. EV charging receptacles required by this section shall be located in at least one assigned parking space per dwelling unit where assigned parking is provided but need not exceed forty (40) percent of the total number of assigned parking spaces provided on the site. **Exception:** Areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the California Building Code; or parking facilities otherwise incapable of supporting electric vehicle charging. c. Receptacle power source. EV charging receptacles in multifamily parking facilities shall be provided with a dedicated branch circuit connected to the dwelling unit's electrical panel, unless determined as infeasible by the project builder or designer and subject to concurrence of the local enforcing agency. **Exception:** Areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the California Building Code; or parking facilities otherwise incapable of supporting electric vehicle charging. d. Receptacle configurations. 208/240V EV charging receptacles shall comply with one of the following configurations: 1. For 20-ampere receptacles, NEMA 6-20R 2. For 30-ampere receptacles, NEMA 14-30R 3. For 50-ampere receptacles, NEMA 14-50R 2. EV ready parking spaces with EV chargers. a. Hotels and motels. Ten (10) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped b. Multifamily parking facilities. Ten (10) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped with J1772 connectors. Where common use parking or unassigned parking is provided, EV chargers shall be located in common use or unassigned parking areas and shall be available for use by all residents or quests. Where low power Level 2 EV charging receptacles or Level 2 EV chargers are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EV chargers shall have a capacity of not less than 30 amperes. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 2, with EV chargers installed shall **Exception:** Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable 4.106.4.2.2.1.1 Electric vehicle charging stations (EVCS) spaces with EV chargers installed; dimensions EVCS spaces shall be designed to comply with the following: The minimum length of each EVCS space shall be 18 feet (5486 mm). The minimum width of each EVCS space shall be 9 feet (2743 mm). One in every 25 EVCS spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EVCS space is 12 feet (3658 mm). Surface slope for this EVCS space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. These EVCS spaces shall also comply with at least one of the following: a. The EVCS space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking b. The EVCS space shall be located on an accessible route, as defined in the California Building Code, **Exception:** Electric vehicle charging stations designed and constructed in compliance with the *California* Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1. **4.106.4.2.2.1.2** Accessible electric vehicle charging station spaces. In addition to the requirements in Section 4.106.4.2.2.1.1, all EV chargers, where installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A. 4.106.4.2.3 Reserved. 4.106.4.2.4 Reserved. 4.106.4.2.5 Electric vehicle ready space signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multi-family buildings. Where new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be EV capable spaces to support future Level 2 electric vehicle supply equipment. The service panel

or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for

1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

future EV charging purposes as "EV CAPABLE."

DIVISION 4.2 ENERGY EFFICIENCY 4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. **DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION** 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seg., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 ps Note: Where complying faucets are unavailable, aerators or other means may be used to achieve 4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations. Title 20 (Appliance Efficiency Regulations). Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California *liations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] Product Class 1 (≤ 5.0 ozf) Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) Product Class 3 (> 8.0 ozf) Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A

FLOW RATE

0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

TABLE - MAXIMUM FIXTURE WATER USE

1701.1 of the California Plumbing Code.

SHOWER HEADS (RESIDENTIAL)

LAVATORY FAUCETS (RESIDENTIAL)

USE AREAS

KITCHEN FAUCETS

METERING FAUCETS

WATER CLOSET

URINALS

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AN A MEANS TO INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THOSE INDIVIDUAL PROJECT BY THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THOSE INDIVIDUAL PROJECT BY THOSE INDIVID

LAVATORY FAUCETS IN COMMON & PUBLIC

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1.8 GMP @ 80 PSI MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20

5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood,

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY** 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste Exceptions: . Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably 3. The enforcing agency may make exceptions to the requirements of this section when isolated iobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be 4. Identify construction methods employed to reduce the amount of construction and demolition waste 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. **4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs. sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of **DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL** 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with

CITY OF SOUTH GATE

PERMIT READY **ADU PLAN SET**

The applicant ("Owner") has requested the use of the City of South Gate Accessory Dwelling Unit (ADU) preapproved plans ("Plans") at the property indicated above. By accepting and/or using the Plans, Owner agrees to and does hereby release, hold harmless, and indemnify the City, its officials, officers, employees, volunteers, agents, and the engineers and/or architects who prepared the Plans (collectively, the "Released Parties"). free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, direct or consequential damage or injury of any kind, in law or equity, to property or persons, in any manner arising out of, pertaining to, related to, or incident to Owner's use of the Plans (collectively, the "Claims").

True North Compliance Services, Inc

PLAN REVIEW APPROVAL

THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE NY FEDERAL, STATE, NOR LOCAL REGULATION.

Mohammed Afaneh DATE: 12/5/2024 THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES ND IT IS UNLAWFUL TO MAKE ANY CHANGES OR CITY, OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

GREEN BUILDING STANDARDS

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

N/A RESPON PARTY			Y N/A RESPON
	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum char		
	compound to the "Base Reactive Organic Gas (ROG) Mixture" per we hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents and 94701.		
	MOISTURE CONTENT. The weight of the water in wood expressed in	n percentage of the weight of the oven-dry wood	
	PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR		
	article. The PWMIR is the total product reactivity expressed to hundre product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title	edths of a gram of ozone formed per gram of	
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has ozone formation in the troposphere.	the potential, once emitted, to contribute to	
	VOC. A volatile organic compound (VOC) broadly defined as a chemi with vapor pressures greater than 0.1 millimeters of mercury at room hydrogen and may contain oxygen, nitrogen and other elements. See	temperature. These compounds typically contain	
	4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent woodstove or pellet stove shall comply with U.S. EPA New Source Pe applicable, and shall have a permanent label indicating they are certification pellet stoves and fireplaces shall also comply with applicable local order.	erformance Standards (NSPS) emission limits as fied to meet the emission limits. Woodstoves,	
	4.504 POLLUTANT CONTROL	aniances.	
	4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF ME CONSTRUCTION. At the time of rough installation, during storage or startup of the heating, cooling and ventilating equipment, all duct and	n the construction site and until final other related air distribution component	
	openings shall be covered with tape, plastic, sheet metal or other met reduce the amount of water, dust or debris which may enter the syste 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materia	m.	
	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH material 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealants		
	requirements of the following standards unless more stringent l management district rules apply:		
	Adhesives, adhesive bonding primers, adhesive primers shall comply with local or regional air pollution controus applicable or SCAQMD Rule 1168 VOC limits, as shear such products also shall comply with the Rule 1168 compounds (chloroform, ethylene dichloride, methyle tricloroethylene), except for aerosol products, as specific products.	ol or air quality management district rules where own in Table 4.504.1 or 4.504.2, as applicable. prohibition on the use of certain toxic ene chloride, perchloroethylene and	
	 Aerosol adhesives, and smaller unit sizes of adhesive units of product, less packaging, which do not weigh than 16 fluid ounces) shall comply with statewide VC prohibitions on use of certain toxic compounds, of Commencing with section 94507. 	more than 1 pound and do not consist of more OC standards and other requirements, including	
		ings shall comply with VOC limits in Table 1 of	
	4 504 2 2 Paints and Coatings Architectural paints and coating	ingo onan compiy wan voo iiinac iii rabic i ci	
	4.504.2.2 Paints and Coatings. Architectural paints and coatings the ARB Architectural Suggested Control Measure, as shown in apply. The VOC content limit for coatings that do not meet the		
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PLASTIC FOAMS

FIBERGLASS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

TABLE 4.504.2 - SEALANT VOC LIN	MIT
(Less Water and Less Exempt Compounds in Gr	ams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₁	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS &	
UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340
GRAMS OF VOC PER LITER OF COATING, INC.	CLUDING WATER &

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

AVAILABLE FROM THE AIR RESOURCES BOARD.

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS

			1 3		Č.	
Υ	N/A	RESPON. PARTY				
				TABLE 4.504.5 - FORMALDEHYDE L	IMITS ₁	
				MAXIMUM FORMALDEHYDE EMISSIONS IN PAR	RTS PER MILLION	
				PRODUCT	CURRENT LIMIT	
				HARDWOOD PLYWOOD VENEER CORE	0.05	
				HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
				PARTICLE BOARD	0.09	
				MEDIUM DENSITY FIBERBOARD	0.11	
				THIN MEDIUM DENSITY FIBERBOARD2	0.13	
				1. VALUES IN THIS TABLE ARE DERIVED FROM BY THE CALIF. AIR RESOURCES BOARD, AIR TO MEASURE FOR COMPOSITE WOOD AS TESTED WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS 93120.12.	OXICS CONTROL O IN ACCORDANCE ATION, SEE CALIF.	
				2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF $5/16$ " (8 MM).	MAXIMUM	
			4.504.3 CARPET Department of Pu	4.5 ENVIRONMENTAL QUA SYSTEMS. All carpet installed in the building interior blic Health, "Standard Method for the Testing and Eves Using Environmental Chambers," Version 1.2, Janation 01350)	r shall meet the requireme aluation of Volatile Organio	nts of the California Chemical Emissions
			See California De	partment of Public Health's website for certification p	rograms and testing labs.	
			https://www.cdph.	ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Page	es/VOC.aspx.	

ms and testing labs. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,"

Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.

by the enforcing agency. Documentation shall include at least one of the following:

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),

by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested

1 Product certifications and specifications

Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see

CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA

0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,

ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent

moisture verification methods may be approved by the enforcing agency and shall satisfy requirements

2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.

3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506 INDOOR AIR QUALITY AND EXHAUST

integral (i.e., built-in)

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or

equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of b. A humidity control may be a separate component to the exhaust fan and is not required to be

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1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or

2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

State certified apprenticeship programs.

702 QUALIFICATIONS

Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.

3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

PLAN REVIEW APPROVAL CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION. 3Y: Mohammed Afaneh DATE: 12/5/2024

CITY. OCCUPANCY OF STRUCTURE(S) IS NOT

BY ALL APPLICABLE DEPARTMENTS.

True North Compliance Services, Inc

GREEN BUILDING STANDARDS

CITY OF SOUTH GATE

PERMIT READY

ADU PLAN SET

The applicant ("Owner") has requested

approved plans ("Plans") at the property

indicated above. By accepting and/or

using the Plans, Owner agrees to and

officers, employees, volunteers, agents,

does hereby release, hold harmless,

and the engineers and/or architects

who prepared the Plans (collectively,

the "Released Parties"), free and

harmless from any and all claims,

expenses, liability, loss, direct or

demands, causes of action, costs,

consequential damage or injury of any

persons, in any manner arising out of, pertaining to, related to, or incident to

Owner's use of the Plans (collectively,

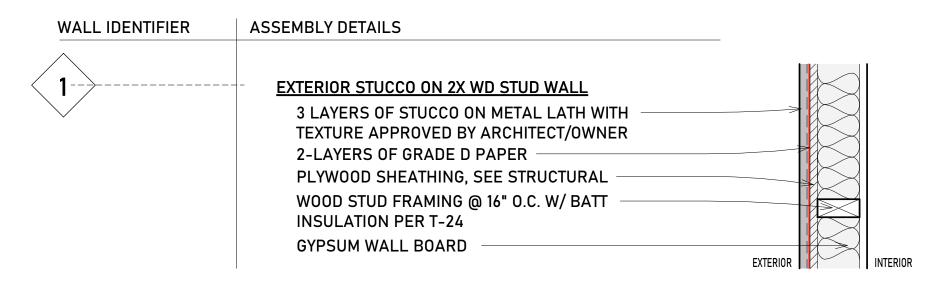
the "Claims").

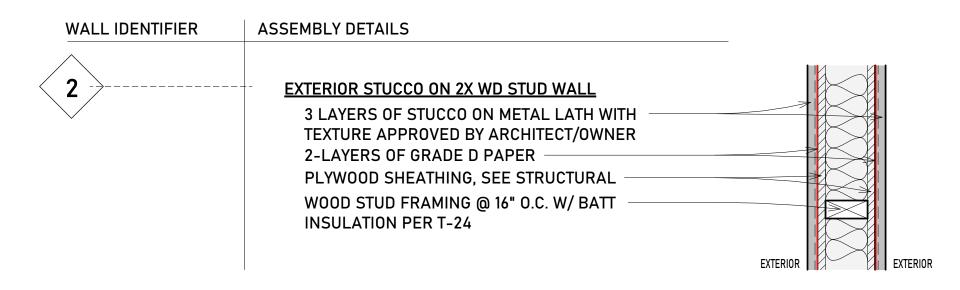
kind, in law or equity, to property or

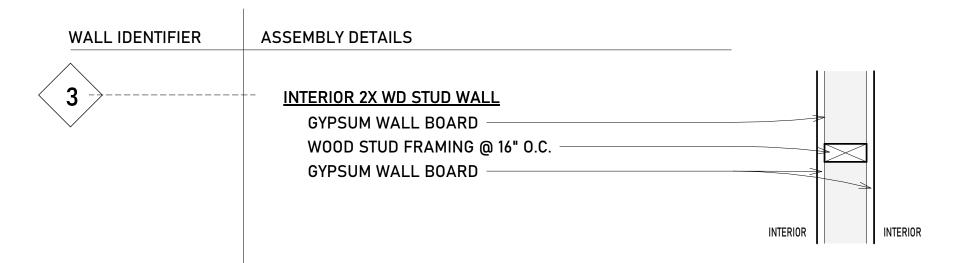
and indemnify the City, its officials,

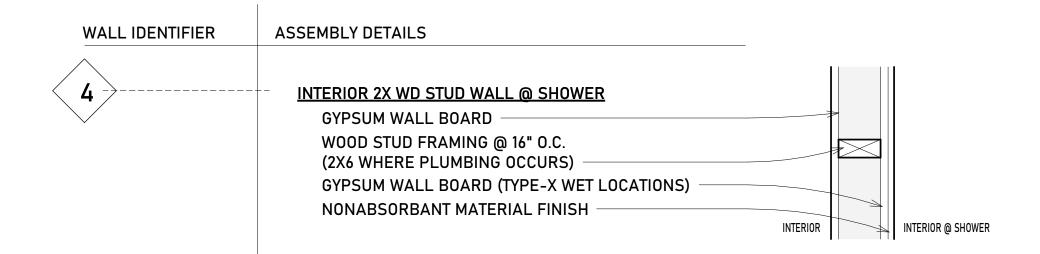
the use of the City of South Gate Accessory Dwelling Unit (ADU) pre-

WALL SCHEDULE









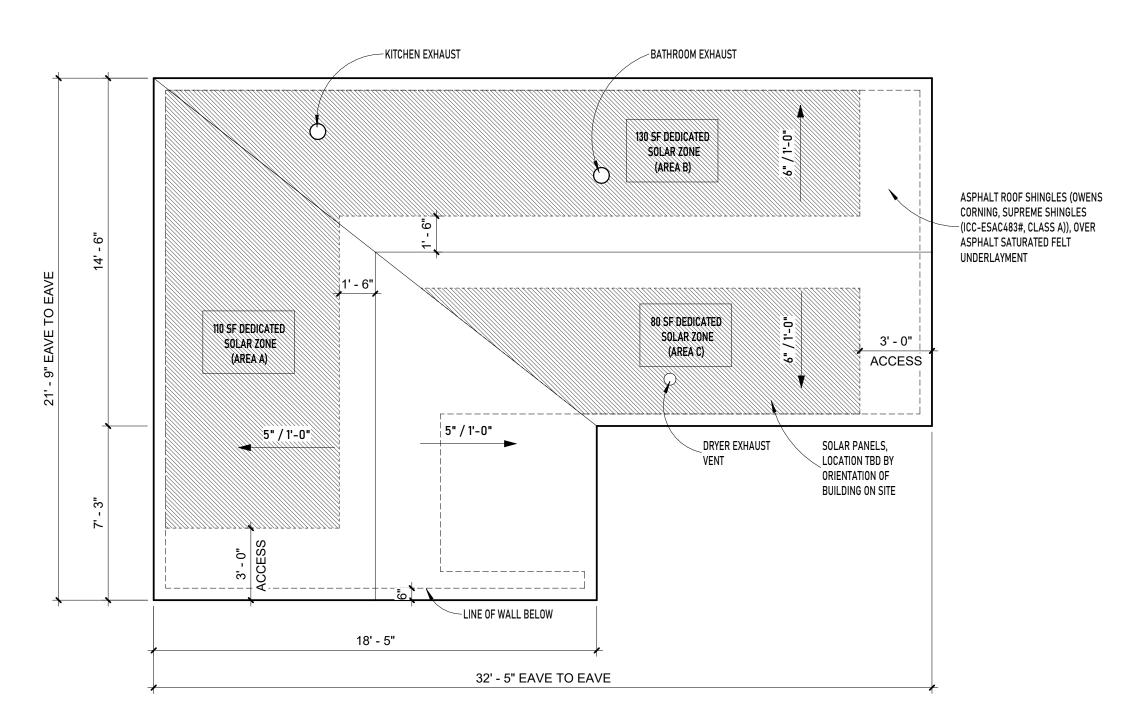
NATURAL LIGHT AND VENTILATION CALCULATIONS

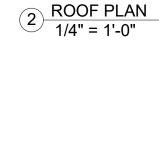
NATURAL LIGHT	NATURAL VENTILATION
KITCHEN + LIVING TOTAL AREA: 201 SF	KITCHEN + LIVING TOTAL AREA: 201 SF
8% OF TOTAL AREA: ≈ 16.5 SF TOTAL GLAZING AREA: 38 SF	4% OF TOTAL AREA: ≈ 8.5 SF OPERABLE WINDOW AREA: 24 SF
NATURAL LIGHT REQUIREMENTS MET: YES	NATURAL VENTILATION REQUIREMENTS MET: YES

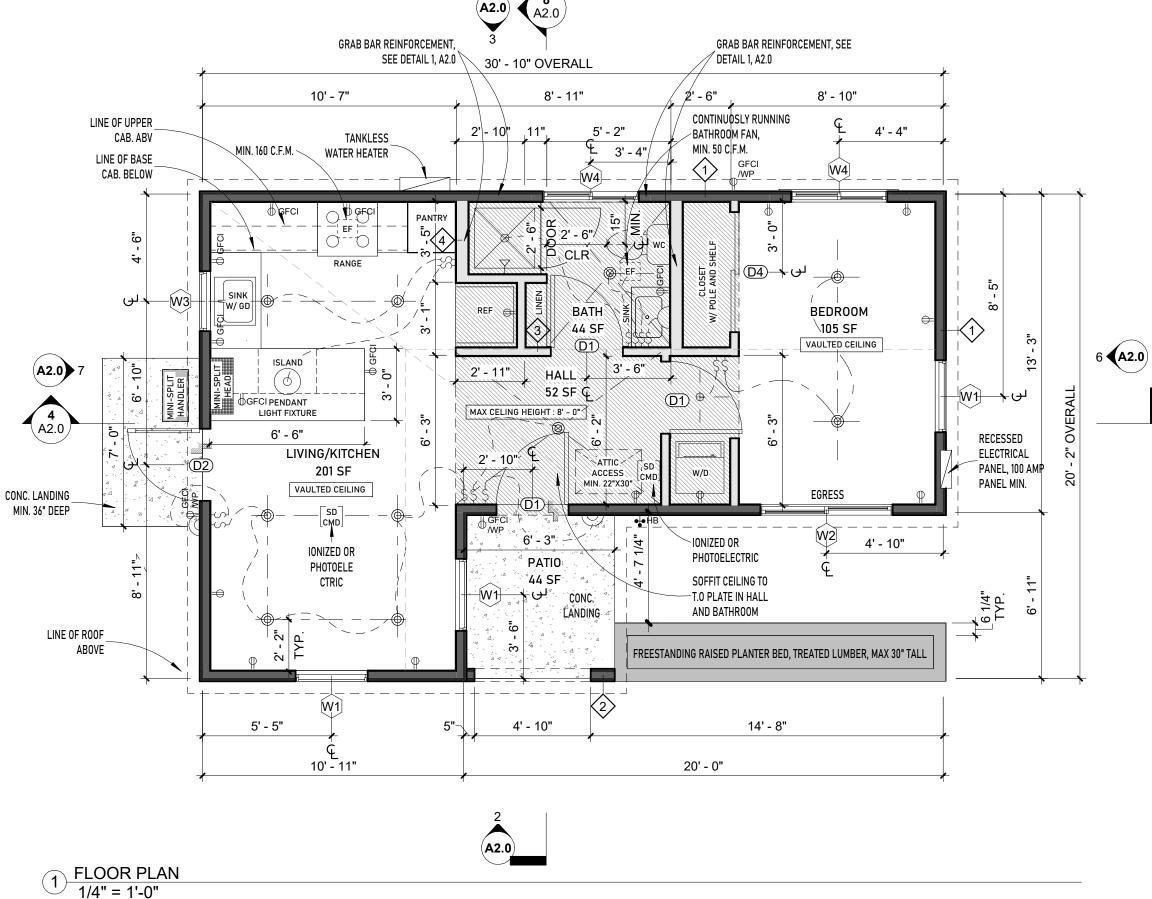
VENTILIATION VOLUME CALCULATION

THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M FOR EACH 100 SQ. FT. OF FLOOR AREA PLUS 7.5 C.F.M FOR EACH OCCUPANT. THE NUMBER OF OCCUPANTS IS DETERMINED BY MULTIPLYING THE NUMBER OF BEDROOMS AND THEN ADDING ONE. ASHRAE 62.2.

NUMBER OF OCCUPANTS: 2 = 15 C.F.M TOTAL FLOOR AREA: 460 SF = 5 C.F.M TOTAL C.F.M: 20 C.F.M







ROOM AREA CALCULATION

* CALCULATED TO FACE OF FINISH

NAME	AREA
HALLWAY	52 SF
BATHROOM	44 SF
LIVING ROOM/KITCHEN	201 SF
BEDROOM + CLOSET	118 SF
PORCH	46 SF



PLAN NOTES

- **DIMENSIONS** ALL DIMENSIONS & GRIDLINES ARE TO FACE OF STUD (F.O.S.)
- STRUCTURAL FRAMING & FOUNDATION SHOWN IN FLOOR PLANS ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR ACTUAL FRAMING SIZES, DIRECTIONS,
- **MECHANICAL** HVAC DUCTS & EQUIPMENT SHOWN IN APPROVED MINI-SPLIT HANDLER TO BE LOCATED AT GRADE ON CONCRETE

FOUNDATION SIZES & SPECIFICATIONS

- **PLANTER PLANTER IS AN OPTIONAL FEATURE GRADING** - LOTS SHALL BE GRADED TO DRAIN SURFACE WATER
- AWAY FROM BUILDING AND ADJACENT PROPERTIES AND TWOARDS THE PUBLIC WAY. THE GRADE SHALL FALL NOT FEWER THAN 6" WITHIN IN THE FIRST 10', CRC R401.3
- DEFERRED SUBMITTAL, WHERE THE OPTION OF SPRINKLER SYSTEM IS SPECIFIED AS (YES, SPRINKLERED. STUCCO FINISH - STUCCO TO BE THREE COATS MINIMUM WHEN

SPRINKLERS - FIRE SPRINKLER SYSTEM TO BE PART OF THE

- APPLIED OVER METAL LATH WITH 2 LAYERS OF GRADE D PAPER. CRC R703.6.2 & R703.6.3. WEEP SCREED - WEEP SCREED TO BE INSTALLED AT THE BASE OF THE STUCCO SIDING. WEEP SCREED SHALL BE A MINIMUM OF 2 INCHES ABOVE THE CONCRETE SLAB AND 4 INCHES ABOVE
- EXPOSED EARTH. CRC R703.6.2.1. WOOD FRAMING ON CONCRETE FOUNDATIONS - ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE EXTERIOR FOUNDATIONS TO BE 8 INCHES ABOVE THE EXPOSED GROUND
- PER CRC R317.1. WATER CONSERVING PLUMBING FIXTURES WATER CLOSET TO BE 1.28 GALLONS PER FLUSH
- MAXIMUM OR DUAL FLUSH PER CPC 411.2. KITCHEN FAUCET TO BE GALLONS PER MINUTE,
- MAXIMUM, PER CPC 407.2.1.1.
- LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM, PER CPC 407.2.1.2.
- SHOWERHEADS TO BE 1.8 GALLONS PER MINUTE,
- MAXIMUM, PER CPC 408.2. HOSE BIBS - HOSE BIBS TO BE PROTECTED WITH A NONREMOVABLE HOSE-BIB TYPE BACKFLOW PREVENTER, A NONREMOVABLE HOSE-BIB TYPE VACUUM BREAKER, OR BY AN ATMOSPHEREIC VACUUM BREAKER INSTALLE NOT LESS THAN 6 INCHES ABOVE THE HIGHEST POINT OF USAGE LOCATED ON THE DISCHARGE SIDE OF THE LAST VALVE. CPC 603.5.7

CITY OF SOUTH GATE

PERMIT READY ADU PLAN SET

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ELECTRICAL NOTES

- DOCUMENTS ELECTRICAL/LIGHTING/ REFLECTED CEILING PLANS ARE NOT INTENDED TO REPRESENT A COMPLETE SET OF ELECTRICAL DRAWINGS.
- ENGINEERING ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL WORK. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL LAWS AND APPLICABLE CODES. VERIFY ELECTRICAL REQUIREMENTS OF ALL APPLIANCES WITH MANUFACTURERS' RECOMMENDATIONS. LOCATE ELECTRICAL RECEPTACLES AND CONNECTIONS PER MANUFACTURERS' RECOMMENDATIONS.
- **SOFFITS** ALL SOFFITS AND CEILINGS ARE DIMENSIONED TO
- FINISH FACE UNLESS OTHERWISE NOTED. **OUTLEST AND LIGHT SWITCHES - ELECTRICAL RECEPTACLE** OUTLETS, SWITCHES, AND CONTROLS INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE
- FINISH FLOOR. DOORBELL - DOORBELL CONTROLS NOT TO EXCEED 48" ABOVE EXTERIOR FLOOR, MEASURED FROM THE TOP OF THE DOORBELL **BUTTON ASSEMBLY.**
- LIGHTING ALL LIGHTING TO BE HIGH EFFICACY. CEnergyC 150.0(k)1(A). ALL FIXTURES TO HAVE DIMABLE
- CONTROLS. EXTERIOR LIGHTING - EXTERIOR LUMINARES TO BE HIGH EFFICACY AND SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICALBE PER CEnergyC 150.0(k)(3):
- CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON CONTROLLED BY PHOTOCELL AND MOTION SENSOR.
- CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
- CONTROLLED BY ON OF THE FOLLOWING METHODS PHOTOCONTROL AND AUTOMATIC CONTROL, ASTRONOMICAL TIME CLOCK,
- **ENERGY MANAGEMENT CONTROL SYSTEM** RECESSED LIGHTING - SPECIFY FIXTURES TO BE LISTED FOR
- ZERO CLEARANCE INSULATION CONTACT (IC) OR UL OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY. CEnergyC 150(k)(8).

LEGEND

<u>1t</u>)	DOOR NUMBER
<u>(1i)</u>	WALL TYPE
(1t)	WINDOW TYPE
	THRESHOLD, 1.5" MAX
SD CMD	CARBON MONOXIDE DETECTOR & SMOKE DETECTOR
[EF]	EXHAUST FAN,
Ф	

——Ψ—— OUTLET

⊕ GFI OUTLET

LIGHT SWITCH CEILING MOUNTED LIGHT FIXTURE

PENDANT LIGHT FIXTURE

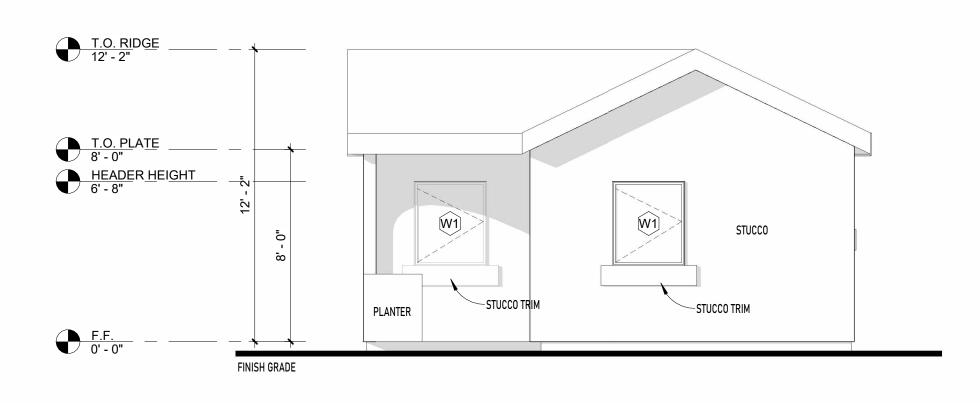
INTERIOR WALL MOUNTED SCONE

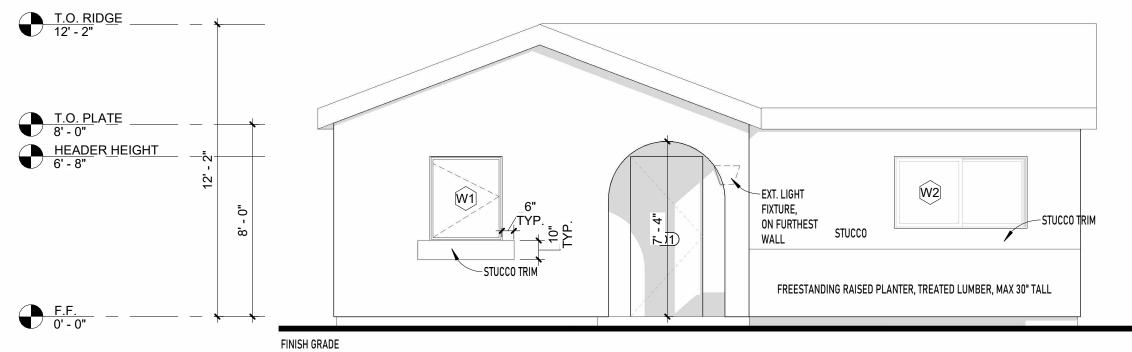
EXTREIOR WALL MOUNTED SCONCE

SHOWER HEAD AND CONTROL VALVES

◆ HB HOSE BIB

PLANS





2 ELEVATION 1 1/4" = 1'-0"

> 3 ELEVATION 3 1/4" = 1'-0"

> > REVIEWED FOR COMPLIANCE WITH THE

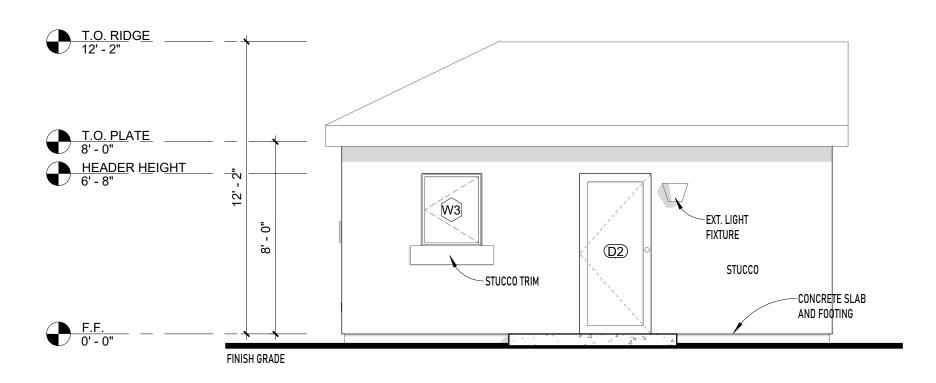
APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE

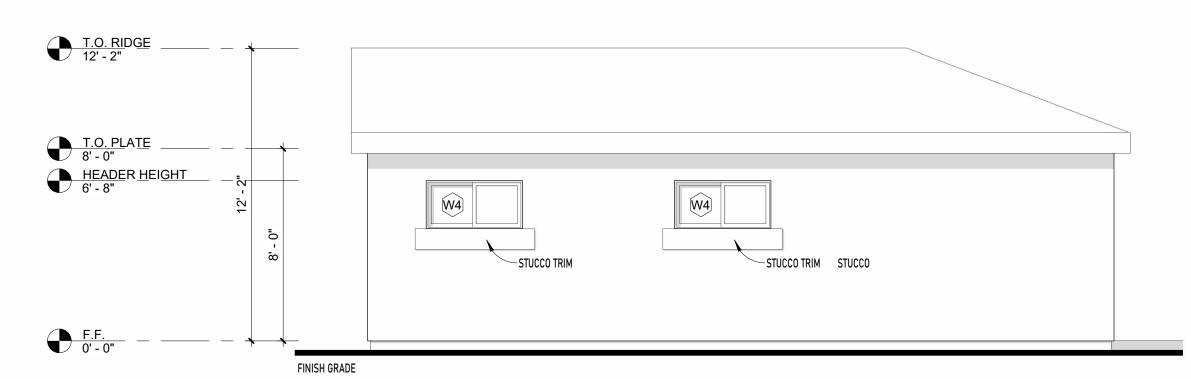
JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF

ANY FEDERAL, STATE, NOR LOCAL REGULATION.
Y: Mohammed Afaneh DATE: 12/5/2024

MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR

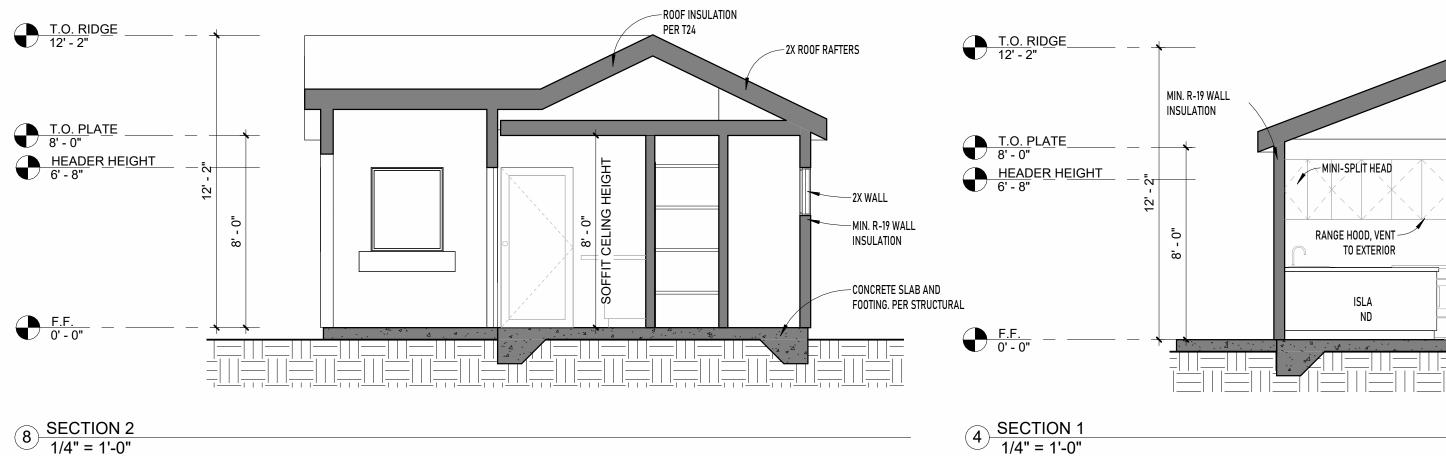
CITY. OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

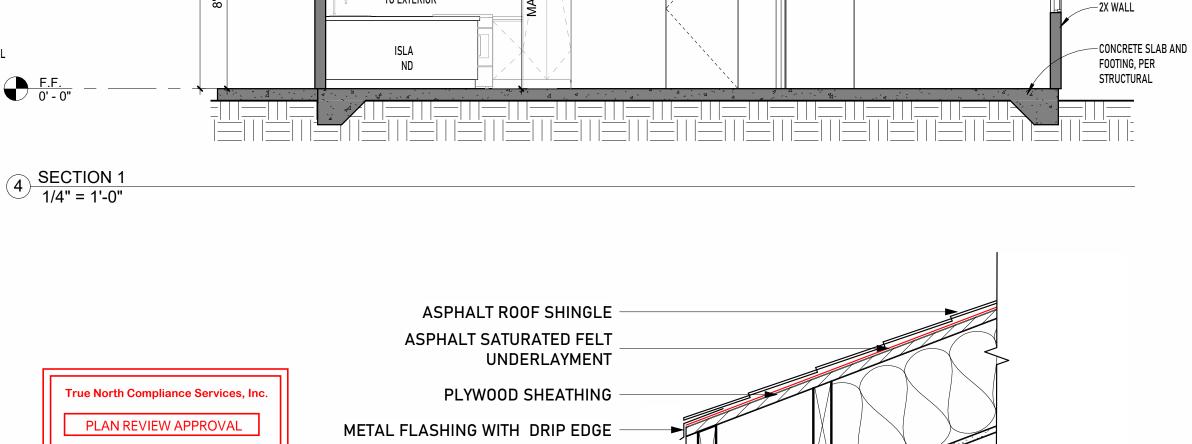


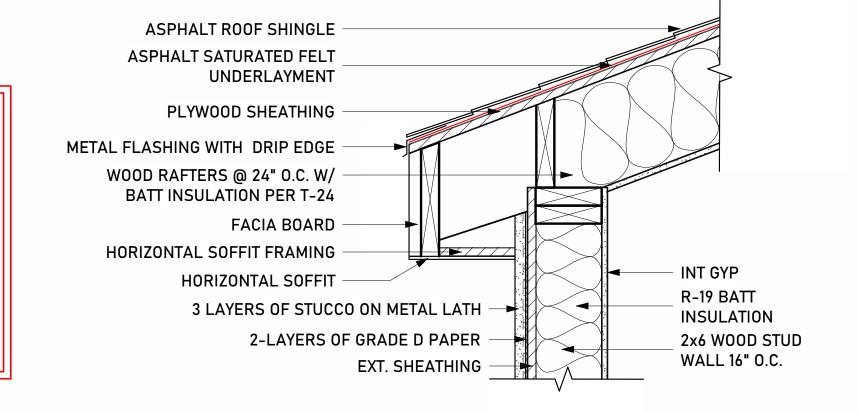


7 ELEVATION 4 1/4" = 1'-0"

6 ELEVATION 2 1/4" = 1'-0"



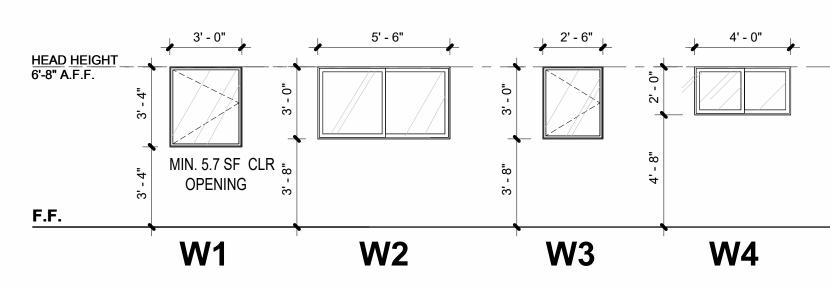




-ROOF INSULATION PER T24

5 FIRE RATED EAVE DETAIL 1/2" = 1'-0"

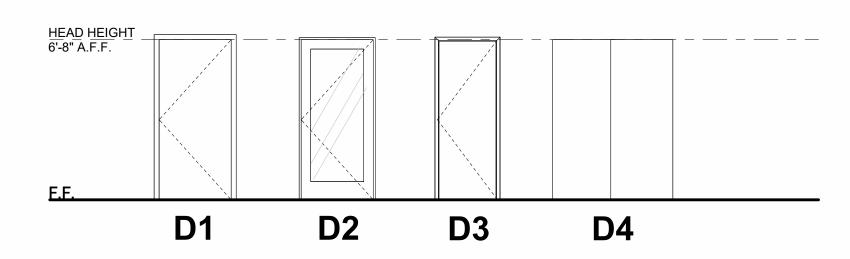
WINDOW SCHEDULE



WIND	WINDOW SCHEDULE							
MAR K	QTY	WINDOW TYPE	FRAME	WIDTH	HEIGH T	HEAD HEIGHT	U-FACTOR	SHCG
W1	3	CASEMENT	VINYL, WHITE	3' - 0"	3' - 6"	6'-8"	PER T24	PER T24
W2	1	SLIDER	VINYL, WHITE	5' - 6"	3' - 0"	6'-8"	PER T24	PER T24
W3	1	CASEMENT	VINYL, WHITE	2' - 6"	3' - 0"	6'-8"	PER T24	PER T24
W4	2	SLIDER	VINYL, WHITE	4' - 0"	2' - 0"	6'-8"	PER T24	PER T24

DOOR SCHEDULE

—2X ROOF RAFTERS

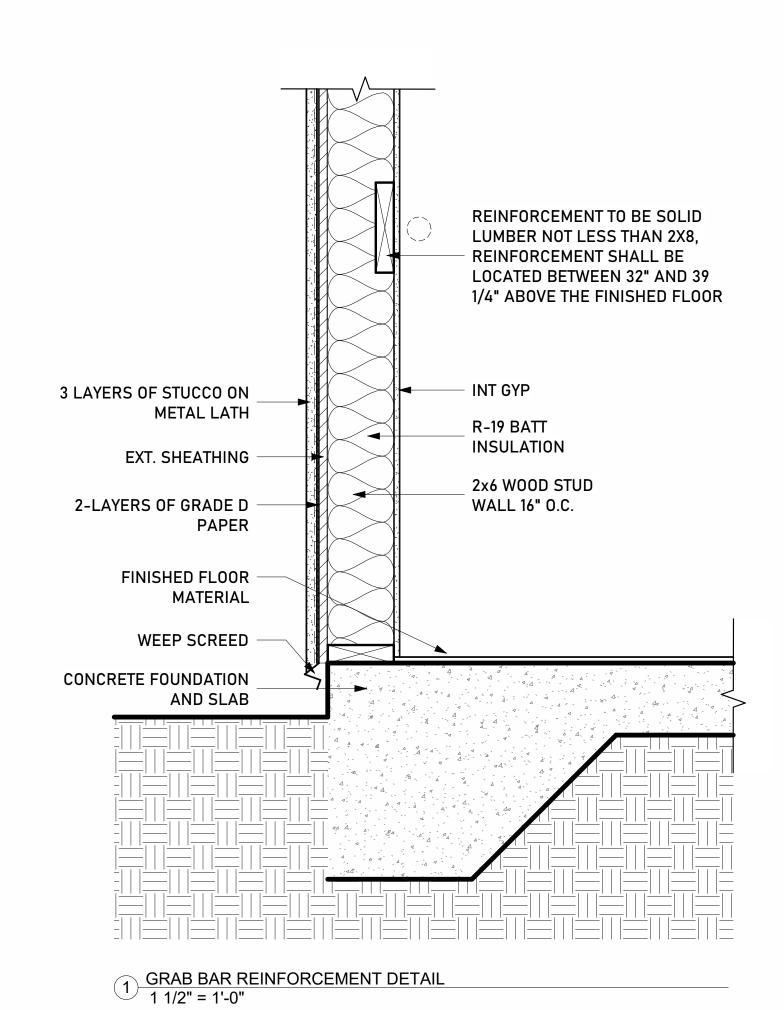


MARK	QTY	DOOR TYPE	WIDTH	HEIGHT	U-FACTOR
D1	3	<varies></varies>	3' - 0"	6' - 8"	
D2	1	LITE DOOR	3' - 0"	6' - 8"	PER T24
D4	1	CLOSET DOOR	5' - 0"	6' - 8"	

CITY OF SOUTH GATE

PERMIT READY ADU PLAN SET

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ELEVATIONS

A2.0

MATERIAL SHEET REQUIREMENTS All Permit Ready Plan Sets are required to complete a Material Sheet. This document should detail the exterior materials, finishes, and fixtures that homeowners intend to incorporate into their finalized ADU design. Items on a Material Sheet should include: A. Exterior material finishes (stucco, siding, stone, veneor, sto) B. Exterior paint colors C. Exterior light fixtures D. Door and window types MATERIAL SHEET SAMPLE

STUCCO EXTERIOR FINISH

BRICK FINISH

EXTERIOR ENTRY DOOR

EXTERIOR SCONCE

CITY OF SOUTH GATE

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True North Compliance Services, Inc.

PLAN REVIEW APPROVAL

THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS

REVIEWED FOR COMPLIANCE WITH THE
APPLICABLE CALIFORNIA BUILDING STANDARDS
CODES AS ADOPTED BY THE STATE OF
CALIFORNIA AND AMENDED BY THE
JURISDICTION. PLAN REVIEW ACCEPTANCE OF
DOCUMENTS DOES NOT AUTHORIZE
CONSTRUCTION TO PROCEED IN VIOLATION OF
ANY FEDERAL, STATE, NOR LOCAL REGULATION.
BY: Mohammed Afanch DATE: 12/5/2024

THIS SET OF THE PLANS AND SPECIFICATIONS
MUST BE KEPT ON THE JOB SITE AT ALL TIMES
AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR
ALTERATIONS WITHOUT PERMISSION FROM THE
CITY. OCCUPANCY OF STRUCTURE(S) IS NOT
PERMITTED UNTIL FINAL APPROVAL IS GRANTED

BY ALL APPLICABLE DEPARTMENTS.

MATERIAL SHEET

A2.1

FASTENING SCHEDULE					
CONNECTION	FASTENING	REMARKS			
	ROOF	1.2			
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	4-8D BOX (2-1/2" X 0.113")	TOE NAIL			
CEILING JOIST TO PLATE	4-8D BOX (2-1/2" X 0.113")	TOE NAIL			
CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS	4-10D BOX (3" X 0.128")	FACE NAIL			
COLLAR TIE RAFTER, FACE NAIL OR 1 1/4" 20- GAGE RIDGE STRAP	4-10D BOX (3" X 0.128")	FACE NAIL			
RAFTER OR ROOF TRUSS TO PLATE	3-16D BOX NAILS (3-1/2" X 0.135") OR	2 TOE NAILS ON ONE SIDE AND			
TO THE CONTROL OF THE	3-16D BOX NAILS (3-1/2" X 0.135")	1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS			
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2"	4-16D BOX (3-1/2" X 0.135"), OR 3-10D COMMON (3-1/2" X 0.148")	TOE NAIL			
RIDGE BEAM.	3-16D BOX (3-1/2" X 0.135"), OR 2-16D COMMON (3-1/2" X 0.162")	END NAIL			
	WALL				
STUD TO STUD (NOT BRACED WALL PANELS)	16D COMMON (3-1/2" X 0.162")	24" OC FACE NAIL			
,	10D BOX (3" X 0.128")	16" OC FACE NAIL			
STUD TO STUD AND ABUTTING STUDS AT	16D BOX (3-1/2" X 0.135")	12" OC FACE NAIL			
NTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16D COMMON (3-1/2" X 0.162")	16" OC FACE NAIL			
ABUTTING STUDS AT INTERSECTING WALL CORNERS, FACE NAIL	16D (3-1/2" X 0.135")	12" OC FACE NAIL			
BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2"	16D COMMON (3-1/2" X 0.162")	16" OC EACH EDGE FACE NAIL			
SPACER)	16D BOX (3-1/2" X 0.135")	12" OC EACH EDGE FACE NAIL			
CONTINUOUS HEADER TO STUD	5-8D BOX (2-1/2" X 0.113")	TOE NAIL			
	4-8D COMMON (2-1/2" X 0.131")	TOE NAIL			
OP PLATE TO TOP PLATE	16D COMMON (3-1/2" X 0.162")	16" OC FACE NAIL			
	10D BOX (3" X 0.128")	12" OC FACE NAIL			
DOUBLE TOP PLATE SPLICE	8-16D (3-1/2" X 0.135")	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF JOINT			
BOTTOM PLATE TO JOIST, RIM JOIST, BAND	16D COMMON (3-1/2" X 0.162")	16" OC FACE NAIL			
IOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16D BOX (3-1/2" X 0.135")	12" OC FACE NAIL			
BOTTOM PLATE TO JOIST, RIM JOIST, BAND	3-16D BOX (3-1/2" X 0.135"), OR	3 EACH 16" OC FACE NAIL			
JOIST OR BLOCKING (AT BRACED WALL PANELS)	2-16D COMMON (3-1/2" X 0.162")	2 EACH 16" OC FACE NAIL			
TOP OR BOTTOM PLATE TO STUD	4-8D BOX (2-1/2" X 0.113"), OR 3-16D BOX (3-1/2" X 0.135"), OR 4-8D COMMON (2-1/2" X 0.131")	TOE NAIL			
	3-16D BOX (3-1/2" X 0.135"), OR 2-16D COMMON (3-1/2" X 0.135"), OR 2-10D COMMON (3" X 0.162"), OR 3-10D BOX (3" X 0.128")	END NAIL			
TOP PLATES, LAP AT CORNERS AND INTERSECTIONS	3-10D BOX (3" X 0.128"), OR 2-16D COMMON (3-1/2" X 0.162")	FACE NAIL			
	FLOOR				
JOIST TO SILL, TOP PLATE OR GIRDER	4-8D BOX (2-1/2" X 0.113"), OR 3-8D COMMON (2-1/2" X 0.131"), OR 3-10D BOX (3" X 0.128")	TOE NAIL			
RIM JOIST, BAND JOIST OR BLOCKING TO SILL	8D BOX (2-1/2" X 0.113")	4" OC			
OR TOP PLATE (ROOF APPLICATIONS ALSO)	8D COMMON (2-1/2 X 0.113) 8D COMMON (2-1/2" X 0.131"), OR 10D BOX (3" X 0.128")	6" OC			
BAND OR RIM JOIST TO JOIST	3-16D COMMON (3-1/2" X 0.162"), OR 4-10D BOX (3" X 0.128")	END NAIL			
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20D COMMON (4" X 0.192"), OR	NAIL EACH LAYER AS FOLLOWS: 32' OC AT TOP AND BOTTOM AND STAGGERED			
	10D BOX (3" X 0.128"), OR	24" OC FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES			
	AND: 2-20D COMMON (4" X 0.192"), OR 3-10D BOX (3" X 0.128")	FACE NAIL AT ENDS AND AT EACH SPLICE			
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16D BOX (3-1/2" X 0.135"), OR 3-16D COMMON (3-1/2" X 0.162"), OR	AT EACH JOIST OR RAFTER, FACE NAIL			
RAFTERS	4-10D BOX (3" X 0.128")				

CAST IN PLACE CONCRETE

REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS OF ADDITIONAL CONCRETE CURBS

PROPORTION, MIX, TRANSPORT, AND PLACE CAST-IN-PLACE CONCRETE IN ACCORDANCE WITH ACI 301 CC-1 "SPECIFICATIONS FOR STRUCTURAL CONCRETE," UON.

CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS.

ROUGHEN CONCRETE SURFACES OF CONSTRUCTION JOINTS TO 1/4 INCH AMPLITUDE AND CLEAN OF LAITANCE, FOREIGN MATTER, AND LOOSE PARTICLES. LOCATE CONSTRUCTION JOINTS AS SHOWN ON THE DRAWINGS. SUBMIT ALTERNATE JOINT LOCATIONS OR JOINTS NOT SHOWN TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.

AND HOUSEKEEPING PADS NOT SHOWN. CONTINUOUSLY MOIST CURE CONCRETE SLABS-ON-GRADE FOR 7 DAYS MINIMUM. WATER FOG SPRAYS. PONDING, SATURATED ABSORPTIVE COVERS, OR MOISTURE RETAINING COVERS MAY BE USED. CURING

COMPOUNDS CAN BE USED BASED ON SATISFACTORY PERFORMANCE ON PREVIOUS APPLICATIONS. CONTRACTOR TO SUBMIT SPECIFICATIONS FOR REVIEW AND APPROVAL. NON-SHRINK GROUT: NON-METALLIC AGGREGATE TYPE, COMPLYING WITH ASTM C1107 AND CAPABLE OF

DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI AT 28 DAYS. CONCRETE TYPES:

28 DAY f'c TYPE MAX AGGREGATE SIZE **LOCATION** SHALLOW FOUNDATIONS, MISC | 2500 PSI | NORMAL WEIGHT CURBS, PADS, SLAB ON GRADE

FOUNDATION AND SITE WORK

LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER CONSTRUCTION. REMOVE ABANDONED FOOTINGS, UTILITIES, ETC. WHICH INTERFERE WITH NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED.

NOTIFY THE OWNER'S REPRESENTATIVE IF ANY BURIED STRUCTURES NOT INDICATED, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC., ARE FOUND.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION. REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.

EXCAVATIONS FOR FOUNDATIONS MUST BE ACCEPTED BY THE INSPECTOR PRIOR TO PLACING REINFORCING IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, SOILS REPORT MAY BE REQUIRED AND DESIGN CRITERIA NOTES DO NOT APPLY.

REINFORCING STEEL

FABRICATE AND PLACE REINFORCING STEEL IN ACCORDANCE WITH ACI 315 "DETAILS AND DETAILING CONCRETE REINFORCING" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE," UON. ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT FROM DISPLACING DUE TO FORMWORK, CONSTRUCTION, OR CONCRETE PLACEMENT OPERATIONS. LOCATE AND SUPPORT REINFORCING BY METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS, AND HANGERS AT A MAXIMUM 3-FOOT SPACING. TERMINATE REINFORCING STEEL IN STD HOOKS, UNLESS OTHERWISE SHOWN.

PROVIDE REINFORCING SHOWN OR NOTED CONTINUOUS IN LENGTHS AS LONG AS PRACTICABLE.

ROUGH CARPENTRY

FRAMING LUMBER: DOUGLAS FIR (COAST REGION) GRADED AND MARKED IN ACCORDANCE WITH THE STD GRADING RULES NO. 17 OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) OR WESTERN LUMBER GRADING RULES, OF THE WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). USE LUMBER OF THE FOLLOWING

- A. SILLS: STUD GRADE PRESSURE OR PRESERVATIVE TREATED, NATURALLY DURABLE, OR FOUNDATION GRADE

REDWOOD; 19% MOISTURE CONTENT, UON. - B. STUDS: STUD GRADE; 19% MOISTURE CONTENT, UON.

- C. JOISTS, PLANKS AND PLATES: DF #2; 15% MOISTURE CONTENT, UON.

- D. BEAMS, DF #2; 19% MOISTURE CONTENT, UON.

<u>FN-1</u>

FN-1

FN-2

- E. POSTS, DF #1; 19% MOISTURE CONTENT, UON.

- F. FRAMING, BLOCKING AND BRIDGING: STUD GRADE; 15% MOISTURE CONTENT, UON. - G. PLYWOOD BLOCKING: DF #2; 19% MOISTURE CONTENT.

- H. BACKING: PER CONSTRUCTION; 19% MOISTURE CONTENT

PANEL SHEATHING: IDENTIFY WOOD STRUCTURAL PANELS WITH THE APPROPRIATE TRADEMARK OF APA-THE ENGINEERED WOOD ASSOCIATION AND MEET THE REQUIREMENTS OF THE VOLUNTARY PRODUCT STD PS-1 OR PS-2 AND APA PRP-108 PERFORMANCE STD.

> - A. PANEL SHEATHING TO BE EXPOSURE 1. - B. PLYWOOD PANELS TO BE 5-PLY MINIMUM, EXCEPT 3/8" PANELS TO BE 3-PLY MINIMUM.

- C. PLYWOOD TO BE C-C GRADE AT LOCATIONS EXPOSED TO WEATHER; CD GRADE ELSEWHERE. - A. NAILS: COMMON WIRE NAILS, FEDERAL SPECIFICATION FF-N-105B, STANDARD LENGTHS UON USE

HOT-DIPPED ZINC-COATED GALVANIZED NAILS FOR EXTERIOR INSTALLATIONS AND WHEN PENETRATING PRESSURE TREATED OR FIRE-RETARDANT LUMBER. - B. BOLTS AND THREADED RODS: ASTM A307, SQ OR HEXAGONAL HEAD MACHINE BOLTS WITH ASTM A563 NUTS.

USE MALLEABLE IRON. WASHERS UNDER HEAD AND NUT WHEN IN CONTACT WITH WOOD, AT SILL PLATES USE 2"x2"x3/16" MINIMUM PLATE WASHERS. - C. LAG SCREWS: ASTM A307, ANSI/ASME STANDARD B18.2.1, USE ANSI B18.22.1 WASHERS UNDER HEAD WHEN

IN CONTACT WITH WOOD.

- D. SCREWS: ASTM A307. ANSI/ASME STANDARD B18.6.1. USE CADMIUM-PLATED PAN OR ROUND HEADED SCREWS AT STEEL TO WOOD AND WOOD TO WOOD CONNECTIONS.

- E. BOLTS, NUTS, WASHERS, STRAPS AND OTHER HARDWARE EXPOSED TO THE WEATHER TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

- F. FRAMING CLIPS, SHEET METAL STRAPS, ETC.: SIMPSON, UNIVERSAL, OR EQUIVALENT, WITH LARR REPORTS. DESIGNATIONS ON DRAWINGS ARE BASED ON SIMPSON CATALOGUE NUMBERS (IAPMO UES ER 112 & LARR 25814). PROVIDE THE TYPE OF NAILS SPECIFIED BY THE MANUFACTURER AND FULLY DRIVE NAILS INTO ALL HOLES OF THE CONNECTOR UNLESS NOTED OTHERWISE ON THE PLANS. ALL CONNECTORS SHALL BE GALVANIZED OR HAVE ANOTHER FACTORY APPLIED FINISH. ALL STEEL FRAMING HANGERS TO BE TORSIONAL RESTRAINT. SOLID BLOCKING REQUIRED BETWEEN JOISTS WHERE TORSIONAL RESTRAINT HANGERS DO NOT

BOLT AND SCREW INSTALLATION

- A. DRILL BOLT HOLES 1/32 TO 1/16 (MAX) INCH LARGER IN DIA THAN THE BOLT NOMINAL DIA.

- B. DRILL PRE-BORED LEAD HOLES FOR WOOD SCREWS AS FOLLOWS.

1. PROVIDE LEAD HOLE 40% - 70% OF THREADED SHANK DIA AND FULL DIA FOR SMOOTH SHANK PORTION. 2. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT 7/8 THE DIA OF THE WOOD SCREW.

3. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE SCREW WITH A DRILL BIT WHOSE DIA IS 40%-70% THE DIA OF THE SCREW AT THE ROOT OF THE THREAD.

4. INSERT THE SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.

5. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION.

- C. DRILL PRE-BORED LEAD HOLES FOR LAG SCREWS AS FOLLOWS.

1. PROVIDE LEAD HOLE 40% - 70% OF THREADED SHANK DIA AND FULL DIA FOR SMOOTH SHANK PORTION. 2. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN

THE MAIN MEMBER. USE A DRILL BIT OF THE SAME DIA AS THE LAG SCREW. 3. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE LAG SCREW WITH A DRILL BIT WHOSE DIA IS 60 PERCENT OF THE NOMINAL LAG SCREW DIA.

4. INSERT LAG SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.

5. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION. HOLD DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD DOWNS SHALL BE FINGER TIGHT AND 1/2 WRENCH TURNED JUST PRIOR TO COVERING WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS ON THE POST ON THE OPPOSITE SIDE OF ANCHORAGE DEVICE. PLATE WASHER SHALL BE 0.299x3x3 IN MIN.

HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.

INSTALL SOLID BLOCKING BETWEEN JOISTS AT ENDS AND OVER SUPPORTS. PROVIDE 2 INCH BY 3 INCH CROSS BRIDGING, METAL BRIDGING, OR SOLID BLOCKING BETWEEN JOISTS IN SPANS EQUALLY SPACED 8 FEET OC MAXIMUM AND WHERE INDICATED.

DO NOT USE WOOD SHINGLE SHIMS UNDER STUDS, JOISTS, BEAMS, OR POSTS. RC-9

- A. DRIVE NAILS PERPENDICULAR TO THE GRAIN, UON

- B. PREDRILLED HOLES TO 3/4 OF NAIL DIA WHERE SPECIFIED AND WHEN WOOD TENDS TO SPLIT.

- C. AIR-DRIVEN NAILS TO BE FULL-HEADED NAILS. DO NOT OVERDRIVE NAILS.

- D. PANEL SHEATHING

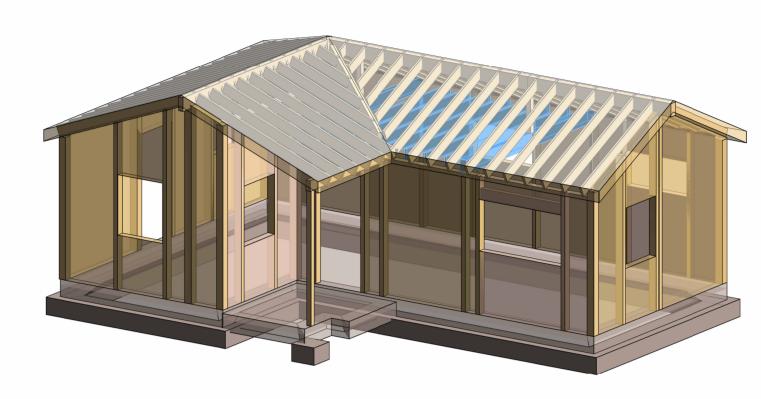
1. AT DIAPHRAGM SHEATHING, USE RING SHANK NAILS. USE SMOOTH SHANK NAILS AT WALLS. 2. USE OF MACHINE NAILING IS SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR EACH PROJECT

AND APPROVAL BY THE OWNER'S REPRESENTATIVE. NAIL HEADS THAT PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND HAMMER OR IF THE MINIMUM ALLOWABLE EDGE DISTANCES ARE NOT MAINTAINED THE INSTALLATION IS UNSATISFACTORY. MACHINE NAILING IS NOT APPROVED IN 5/16" OR LESS SHEATHING.

3. DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO SUPPORTS. DIAPHRAGM SHEATHING MUST BE BLOCKED AT EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.8(1).

- E. PROVIDE MINIMUM NAILING PER TABLE 2304.10.2 OF CBC 2022. UON

	STRUCTURAL DRAWING LIST			
Sheet Number	Sheet Name			
SO SERIES: SHEET LIST, GENERA	NOTES, TYPICAL DETAILS			
\$0.0	MODEL 1 GENERAL NOTES			
S0.1	MODEL 1 TYPICAL CONCRETE DETAILS			
S0.2	MODEL 1 TYPICAL WOOD DETAILS			
\$0.3	MODEL 1 TYPICAL WOOD DETAILS			
S1 SERIES: FOUNDATION & FRAM	I ING PLANS			
S1.0	MODEL 1 FOUNDATION & FRAMING PLANS			
S2.0 BUILDING SECTIONS & ELEV.	ATIONS			
S2.0	MODEL 1 BUILDING SECTIONS & ELEVATIONS			



CITY OF SOUTH GATE

PERMIT READY **ADU PLAN SET**

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DESIGN CRITERIA

SURCHARGE ADJACENT PROPERTIES.

APPLICABLE CODE: 2022 CALIFORNIA BUILDING CODE.

THE ADU IS DESIGNED FOR LEVEL GRADE. THE CITY OF SOUTH GATE TO APPROVE

LOCATION. CONTRACTOR TO VERIFY CONSTRUCTION WILL NOT UNDERMINE OR

FOUNDATION DESIGNS ARE IN ACCORDANCE WITH MINIMUM DESIGN RECOMMNEDATIONS

FOUND IN CHAPTER 18 OF CALIFORNIA BUILDING CODE. ALLOWABLE NET SOIL PRESSURE = 1500 PSF COHESION

GRAVITY LOADS:

A. DEAD LOADS: ROOFING = 5 PSF SHEATHING = 2 PSF JOISTS = 3 PSF 5/8" GYP CEILING = 2 PSF MEP = 2 PSFMISC = 2 PSF

B. LIVE LOADS = 20 PSF (REDUCIBLE)

SEISMIC DESIGN:

THE FOLLOWING VALUES HAVE BEEN USED FOR THE DESIGN OF THE LATERAL FORCE RESISTING SYSTEM. SEISMIC DESIGN CATEGORY, SITE CLASS, AND ALL SPECTRAL ACCELERATIONS MUST BE

UPDATED TO SITE SPECIFIC VALUES. SEISMIC DESIGN CATEGORY = D SITE CLASS = D (DEFAULT) ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE RHO = 1.3 = 0.65 S_{DS} = 1.472 = 1.105 = 1.0 FOR OCCUPANCY CATEGORY (II)

LFRS = LIGHT-FRAMED WOOD SHEAR WALLS R = 6.5OVERSTRENGTH = 2.5

WIND DESIGN:

Cs = 0.237

BASE SHEAR V= 7.4K

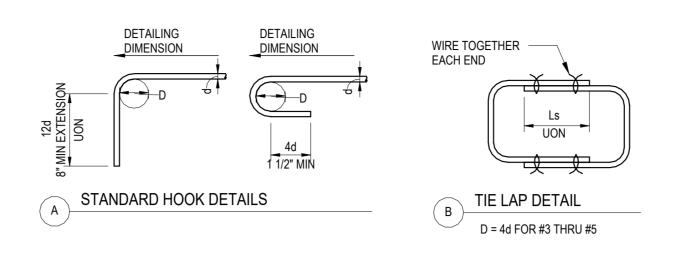
RISK CATEGORY = II

BASIC WIND SPEED, V = 94 MPH (3 SECOND GUST) Kd = 0.85EXPOSURE CATEGORY = B Kzt = 1.0GUST EFFECT FACTOR = 0.85 ENCLOSURE CLASSIFICATION = CLOSED INTERNAL PRESSURE COEFICIENT GCpi = ±0.18 Kz = 0.70az = 15 PSF

True North Compliance Services, Inc PLAN REVIEW APPROVAL THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE JURISDICTION, PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF NY FEDERAL, STATE, NOR LOCAL REGULATION. Mohammed Afaneh DATE: 12/5/2024 THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES

AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

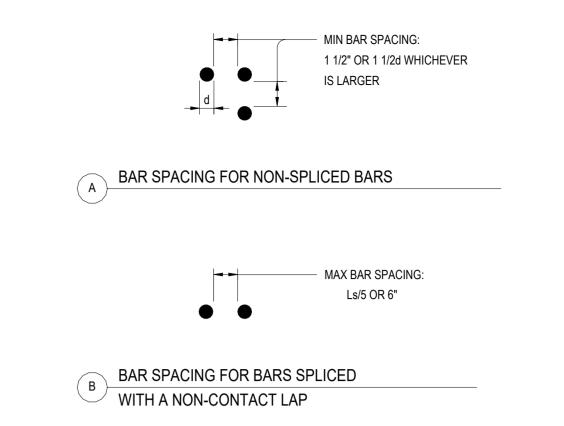
MODEL 1 GENERAL NOTES



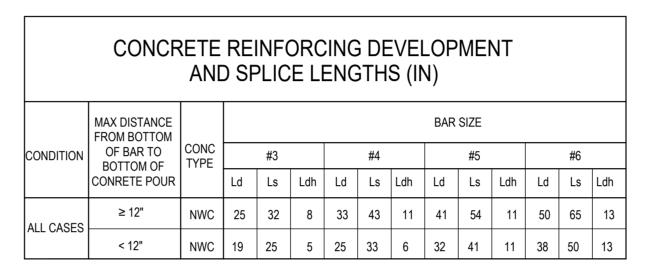
NOTES:

1. SEE DETAIL 6/S0.1 FOR REINFORCING DEVELOPMENT AND SPLICE LENGTHS SCHEDULE.

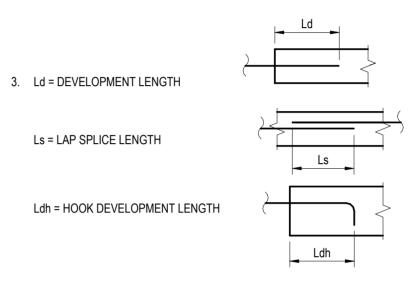
BAR BENDING DETAIL



BAR SPACING IN CONCRETE

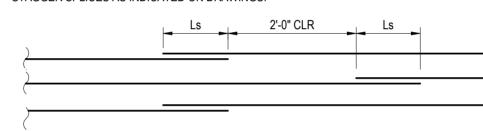


NOTES:
1. REINFORCEMENT DEVELOPMENT AND SPLICE LENGTHS APPLY TO CONCRETE STRENGTH f'c ≥ 2.5 KSI 2. d = BAR DIAMETER

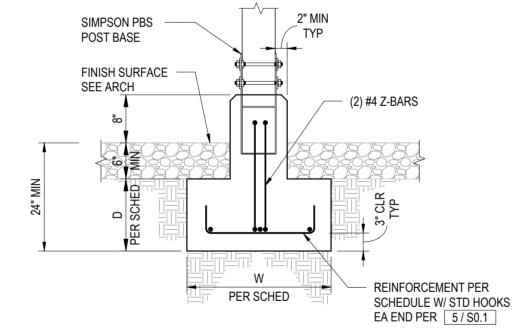


4. WHEN SPLICING BARS OF DIFFERENT SIZE, USE LAP SPLICE LENGTH OF LARGER BAR, UON

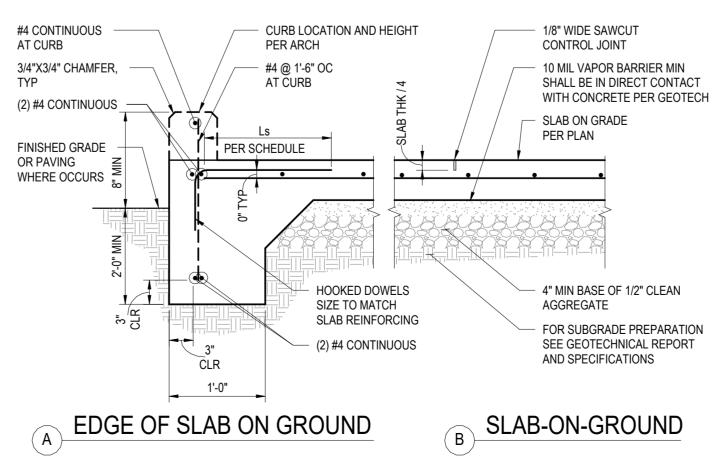
5. STAGGER SPLICES AS INDICATED ON DRAWINGS.



6 REINFORCING DEVELOPMENT & SPLICE LENGTHS NOT TO SCALE

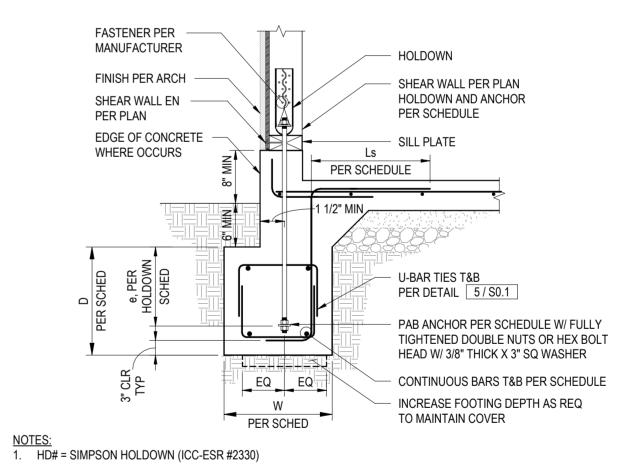


7 ISOLATED POST FOOTING NOT TO SCALE

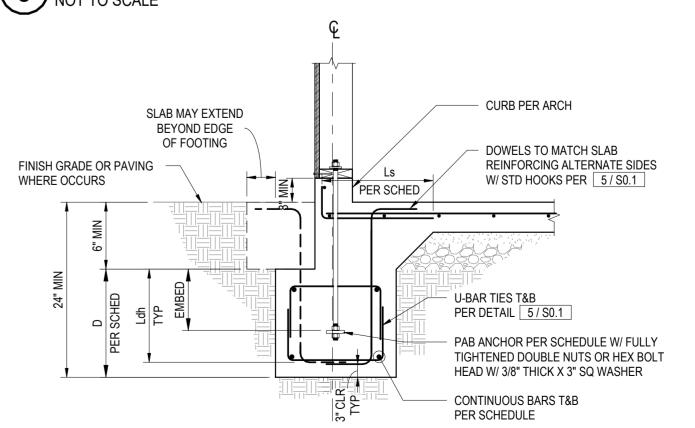


EDGE OF SLAB ON GROUND

8 SLAB ON GRADE & CONTROL JOINT
NOT TO SCALE



CONTINUOUS FOOTING AT HOLDOWN



EXTERIOR CONTINUOUS FOOTING TYP SILL CONNECTION

PERMIT READY **ADU PLAN SET**

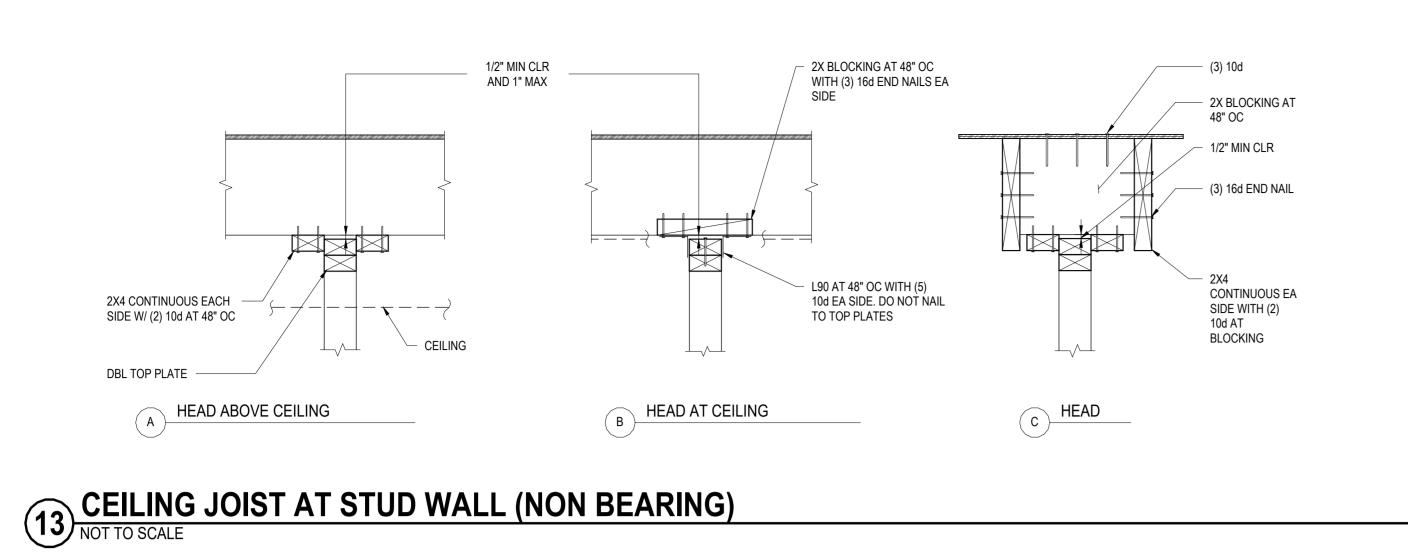
CITY OF SOUTH GATE

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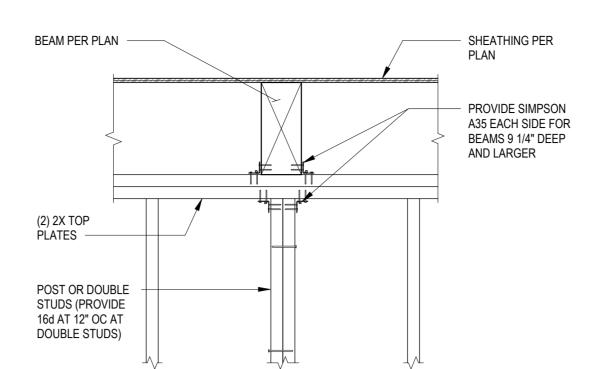


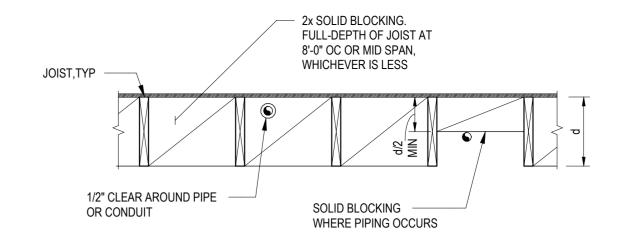
True North Compliance Services, Inc PLAN REVIEW APPROVAL REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARD CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE
JURISDICTION. PLAN REVIEW ACCEPTANCE OF ANY FEDERAL, STATE, NOR LOCAL REGULATION Mohammed Afaneh DATE: 12/5/2024 THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES ALTERATIONS WITHOUT PERMISSION FROM THE CITY. OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

> **MODEL 1 TYPICAL CONCRETE DETAILS**



3-20d, TYP





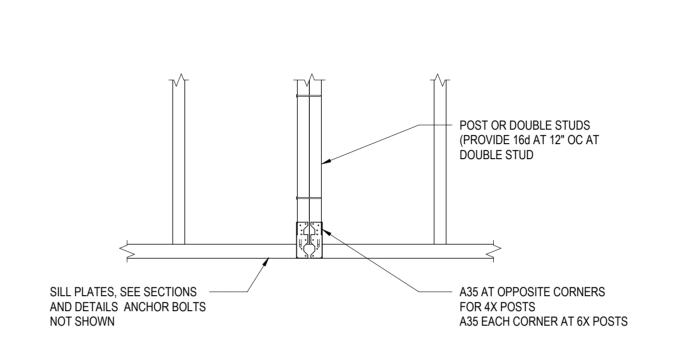
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5 FLUSH BEAM PERPENDICULAR TO STUD WALL NOT TO SCALE MOOD JOIST BLOCKING NOT TO SCALE



1. NOTCHING OF MEMBER IS NOT PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER'S **REPRESENTATIVE** 2. DO NOT PLACE HOLES IN MEMBERS WITH HOLDOWN ANCHORS. 3. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A STUDS OR POST, TYP NON-LOAD BEARING B LOAD BEARING

STUD WALL CORNERS AND INTERSECTIONS NOT TO SCALE

STITCH NAILING,

PLAN AT CORNERS

PLAN AT INTERSECTIONS



EA SIDE OF OPENING AT SPAN > 4'-0" AND

TRIPLE CRIPPLE AND STUD AT SPAN > 8'-0"

5/8" DIA X 4 TITEN HD SILL ANCHOR @ 48" OC

DOUBLE CRIPPLE AND STUD

(6" MAX FROM END OF WALL)

40d @18" OC AT 3X

2-10d EA SIDE,

2-10d EA SIDE

DBL 2X10 LINTEL, UON

SPAN

TYP

SPLICE PL'S

ON STUD CL'S

SPLICE, TYP

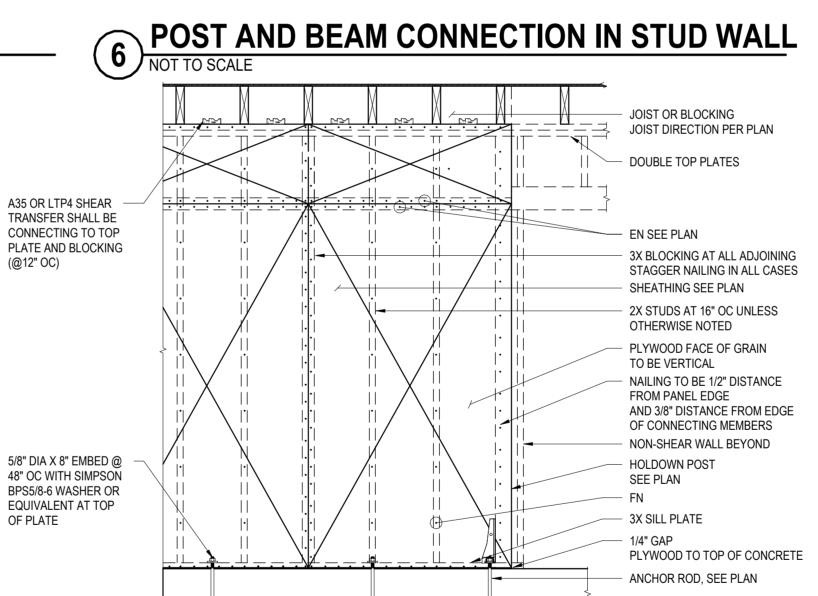
- 2-20d END NAIL, TYP

DOUBLE TOP

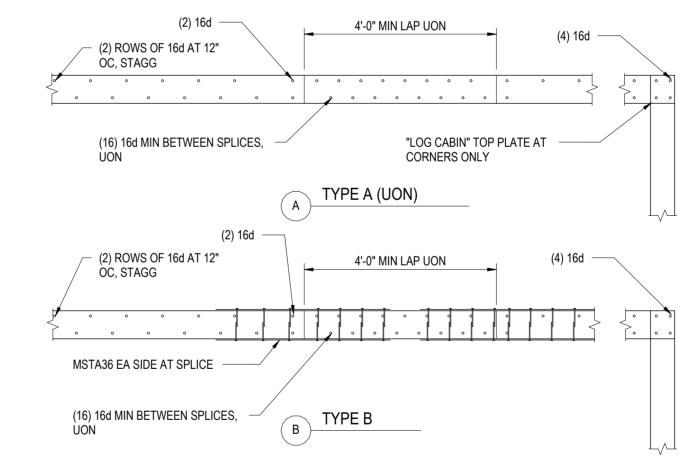
PLATE, TYP

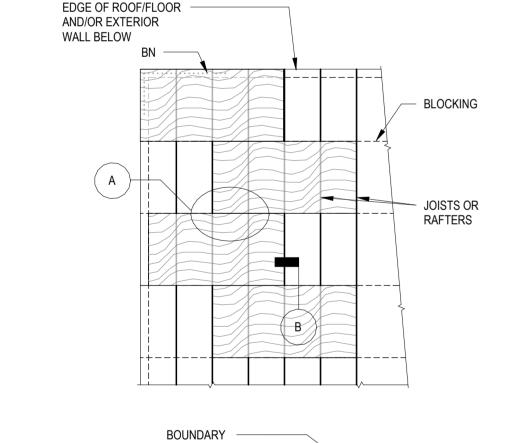
(@12" OC)

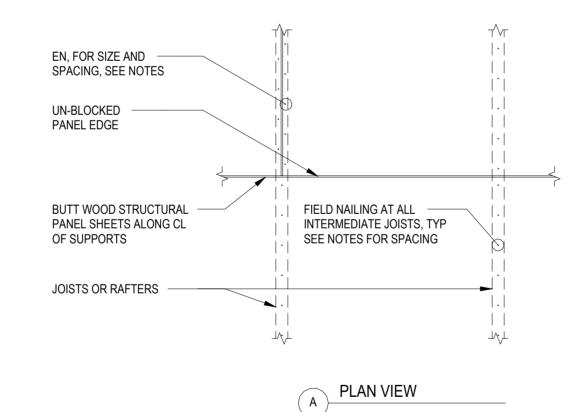
OF PLATE

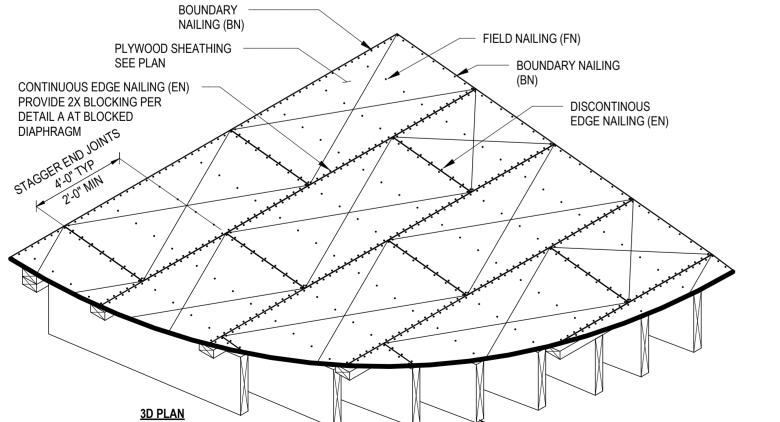


HOLES AND NOTCHES IN STUDS OR POSTS NOT TO SCALE









1. PROVIDE WOOD STRUCTURAL PANEL SHEETS NOT LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8'-0" SQ FEET

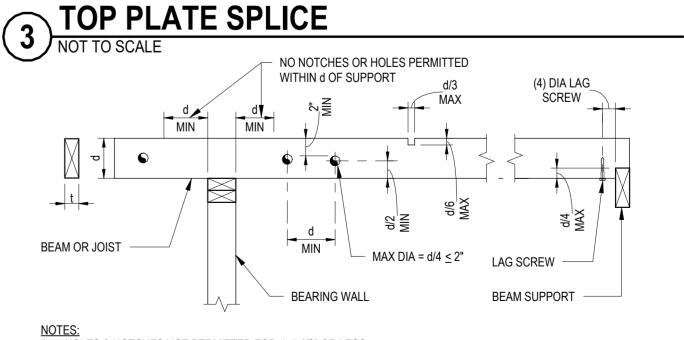
2. PLACE WOOD STRUCTURAL PANEL SHEET WITH FACE PLIES PERPENDICULAR TO JOISTS AND STAGGER 4'-0" EDGES AS

SHEATHING PER SCHEDULE PROVIDE GLUE PER ADHESIVE NOTE

7 SHEAR WALL ELEVATION
NOT TO SCALE

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BY ALL APPLICABLE DEPARTMENTS.



HOLES & NOTCHES NOT PERMITTED FOR d=5 1/2" OR LESS NOTCHES NOT PERMITTED WITHIN MIDDLE THIRD OF SPAN. NOTCHES NOT PERMITTED IN BOTTOM OF MEMBER UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR WRITTEN APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.

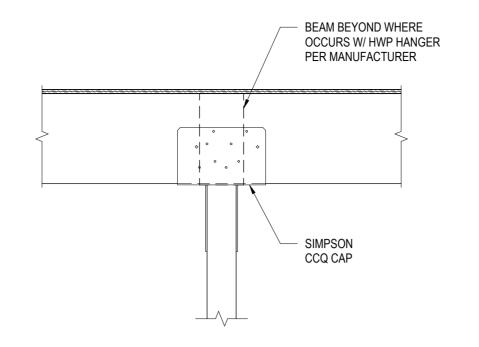
HOLES AND NOTCHES IN BEAMS 4 AND JOISTS

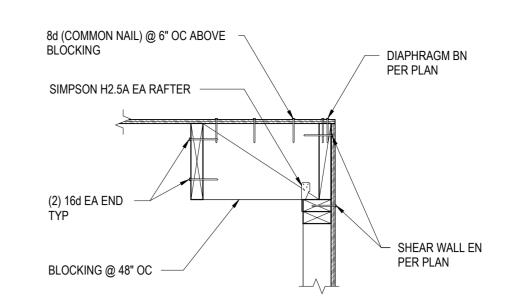
NOT TO SCALE

MODEL 1 TYPICAL WOOD DETAILS

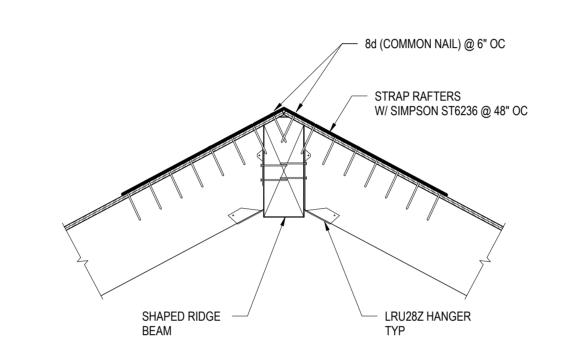


IN AREA. USE FULL SHEETS WHEREVER POSSIBLE.

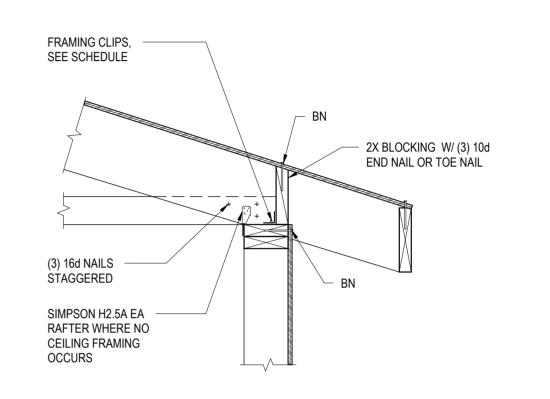




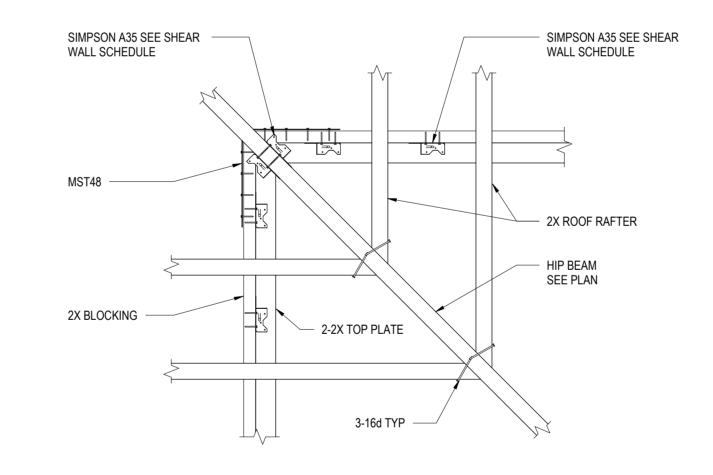
MOOD POST TO WOOD BEAM NOT TO SCALE



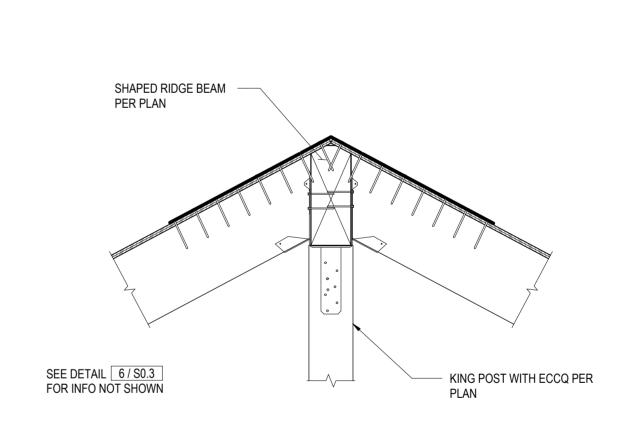
SHEAR WALL CONNECTION TO ROOF PARALLEL RAFTERS



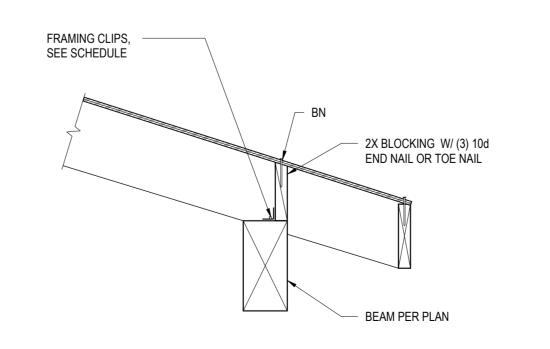
RAFTERS TO RIDGE BEAM NOT TO SCALE



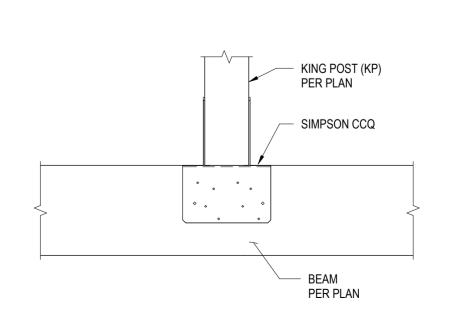
SHEAR WALL CONNECTION TO ROOF PERPENDICULAR RAFTERS

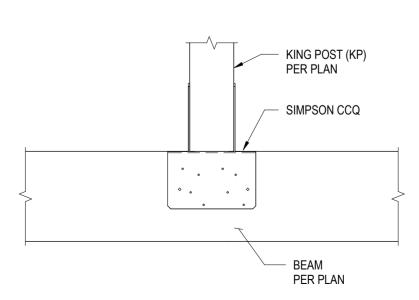


7 HIP CONNECTION DETAIL AT ROOF NOT TO SCALE



RAFTERS TO RIDGE BEAM AT KING POST NOT TO SCALE





MODEL 1 TYPICAL WOOD DETAILS

True North Compliance Services, Inc

PLAN REVIEW APPROVAL

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CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE

DOCUMENTS DOES NOT AUTHORIZE

ANY FEDERAL, STATE, NOR LOCAL REGULATION.

Mohammed Afaneh DATE: 12/5/2024

MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OF ALTERATIONS WITHOUT PERMISSION FROM THE CITY. OCCUPANCY OF STRUCTURE(S) IS NOT BY ALL APPLICABLE DEPARTMENTS.

CITY OF SOUTH GATE

PERMIT READY

ADU PLAN SET

The applicant ("applicant") has requested the use of the City of South

Gate Accessory Dwelling Unit (ADU)

elected officials, officers, employees and agenes, and the engineers and/or

construction documents from any and

demands on account of injury, damage, or loss to persons or property, including

architects who prepared the

all claims, liabilities, suits, and

injury, death, or economic losses,

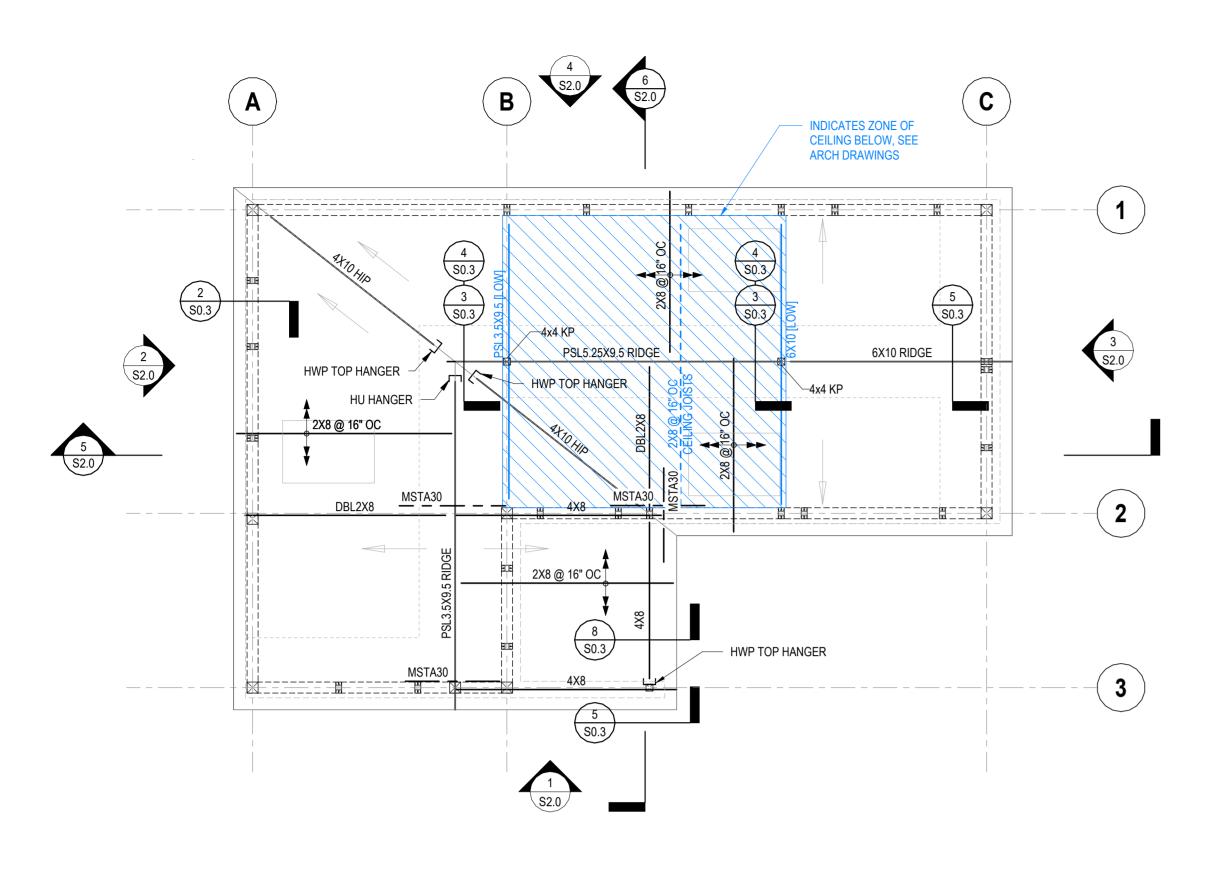
arising out of the use of these

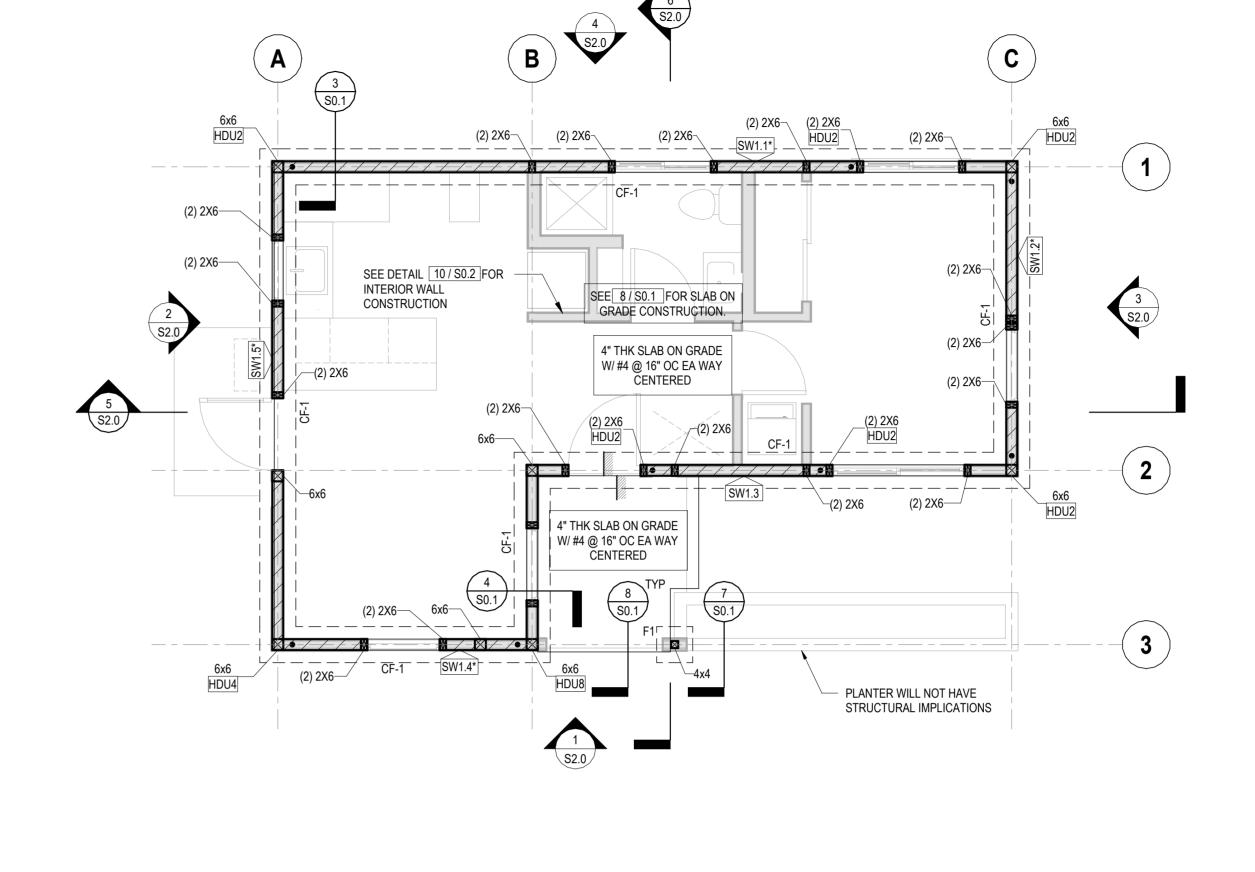
construction documents.

pre-approved plans ("construction documents") at the property indicated above. By agreeing to use these construction documents the applicant agrees to release, hold harmless, and indemnify the City of South Gate, its

8 ROOF RAFTERS TO BEAM CONNECTION
NOT TO SCALE







CITY OF SOUTH GATE

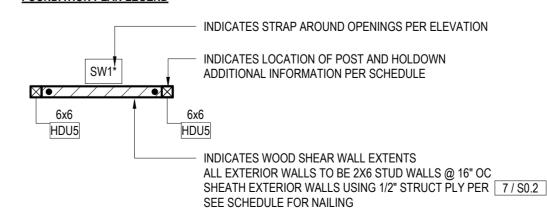
PERMIT READY **ADU PLAN SET**

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- **FOUNDATION PLAN NOTES** 1. TOP OF FOOTING ELEVATION TO BE 1'-0" MIN BELOW TOP OF SLAB OR FINISHED GRADE, UON.
- 2. REFER TO SO SERIES SHEETS FOR GENERAL NOTES AND TYPICAL DETAILS.
- 3. REFER TO ARCHITECTURAL DRAWINGS FOR SETTING OUT DIMENSIONS. 4. ALL FOUNDATION EXCAVATIONS MUST BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLING
- 5. EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. NO MATERIAL IS TO BE EXCAVATED UNNECESSARILY.
- 6. CURBS AND DEPRESSIONS ARE SHOWN FOR REFERENCE ONLY. SEE ARCH DWGS FOR LOCATIONS, HEIGHT, AND THICKNESS.
- 7. SEE ARCH DWGS FOR EDGE OF SLAB LOCATIONS.
- 8. VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATIONS. NOTIFY ARCHITECT PRIOR TO EXCAVATION IN THE EVENT SUCH UTILITIES ARE ENCOUNTERED.
- 9. FOR DRAINAGE DETAILS, SUMPS, PITS, DAMP PROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT DETAILS, STEPS, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL.
- 10. PROVIDE A 6" CURB AT EXTERIOR TIMBER WALLS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.

FOUNDATION PLAN LEGEND



CONTINUOUS FOOTING SCHEDULE					
TYPE MARK	WIDTH, W	DEPTH, D	TOP BARS	BOTTOM BARS	TIES
CF-1	1' - 6"	1'-0"	(3) #5	(3) #5	#4 @ 18" OC

ISOLATED FOOTING SCHEDULE						
TYPE MARK	WIDTH, W	LENGTH, B	DEPTH, D	TOP BARS	BOTTOM BARS	
F1	1' - 6"	1'-6"	1'-0"	-	(3) #4	
					-	

HOLDOWN SCHEDULE					
TYPE	FOUNDATION EMBED, e	ANCHOR ROD DIAMETER	WOOD FASTENER		
HDU2	8"	5/8"	(6) 1/4 X 1 1/2 SDS		
HDU4	8"	5/8"	(10) 1/4 X 1 1/2 SDS		
HDU8	8"	7/8"	(20) 1/4 X 1 1/2 SDS		

	WOOD SHEAR W	ALL SCHEDULE	
WALL ID	SHEAR WALL NAILING (BN, EN, FN)	LENGTH	WIDTH
SW1.1*	6", 6", 12"	24'-0"	5 1/2"
SW1.2*	6", 6", 12"	12'-6"	5 1/2"
SW1.3	4", 4", 12"	8'-0"	5 1/2"
SW1.4*	6", 6", 12"	10'-6"	5 1/2"
SW1.5*	4", 4", 12"	20'-0"	5 1/2"

True North Compliance Services, Inc

PLAN REVIEW APPROVAL

CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE JURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, NOR LOCAL REGULATION. Y: Mohammed Afaneh DATE: 12/5/2024 THIS SET OF THE PLANS AND SPECIFICATIONS

AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY. OCCUPANCY OF STRUCTURE(S) IS NOT BY ALL APPLICABLE DEPARTMENTS.

> MODEL 1 FOUNDATION & FRAMING PLANS

2 ROOF FRAMING PLAN
1/4" = 1'-0"

FOR ADDITIONAL INFORMATION.

BEAMS AROUND OPENINGS WITH ALL PROJECT REQUIREMENTS.

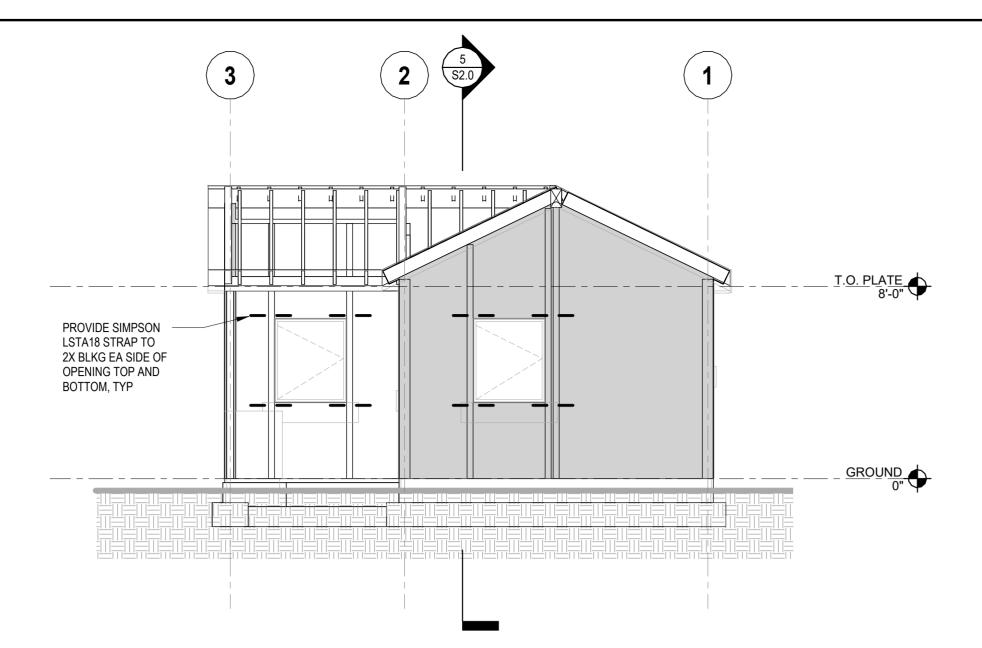
3. ALL DRAG STRAPS PER PLAN TO BE INSTALLED PER MANUFACTURER.

1. GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF EQUIPMENT SUPPORT BEAMS AND

2. PROVIDE 15/32" DIAPHRAGM (ROOF) SHEATHING WITH 6,6,12 8d NAILING (BN,EN,FN). SEE DETAIL 16 / S0.2

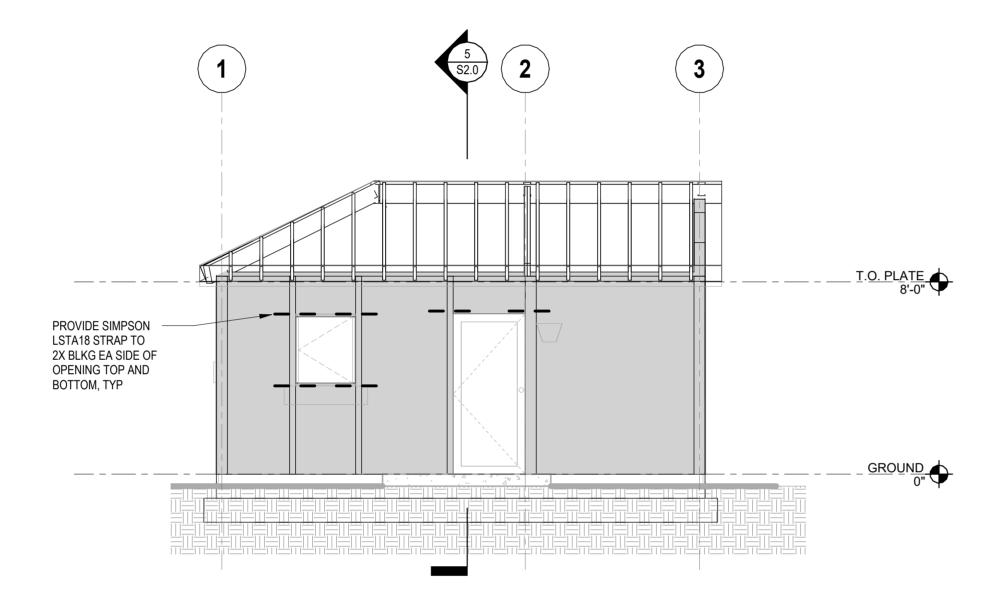
GROUND FLOOR FOUNDATION PLAN

1/4" = 1'-0"



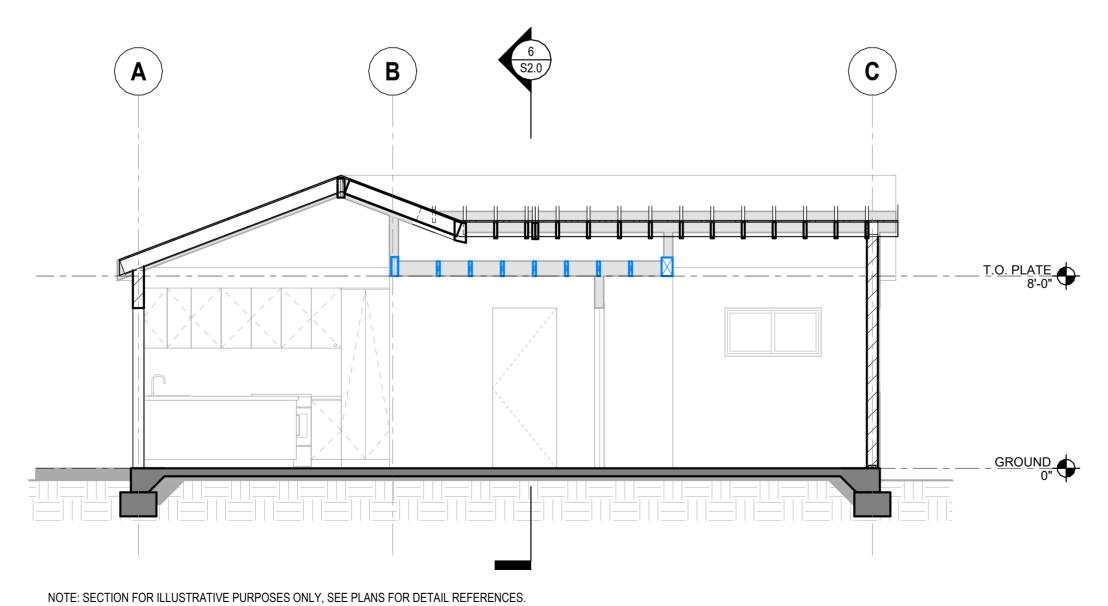
NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY, SEE PLANS FOR DETAIL REFERENCES.

3 ELEVATION 1/4" = 1'-0"

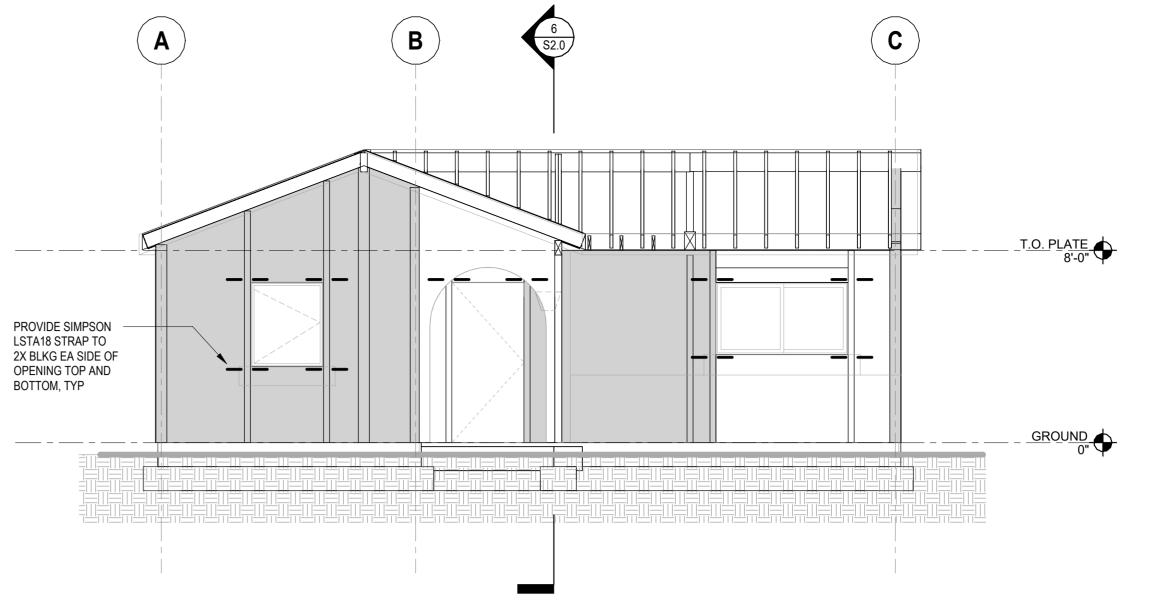


NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY, SEE PLANS FOR DETAIL REFERENCES.

2 ELEVATION 1/4" = 1'-0"

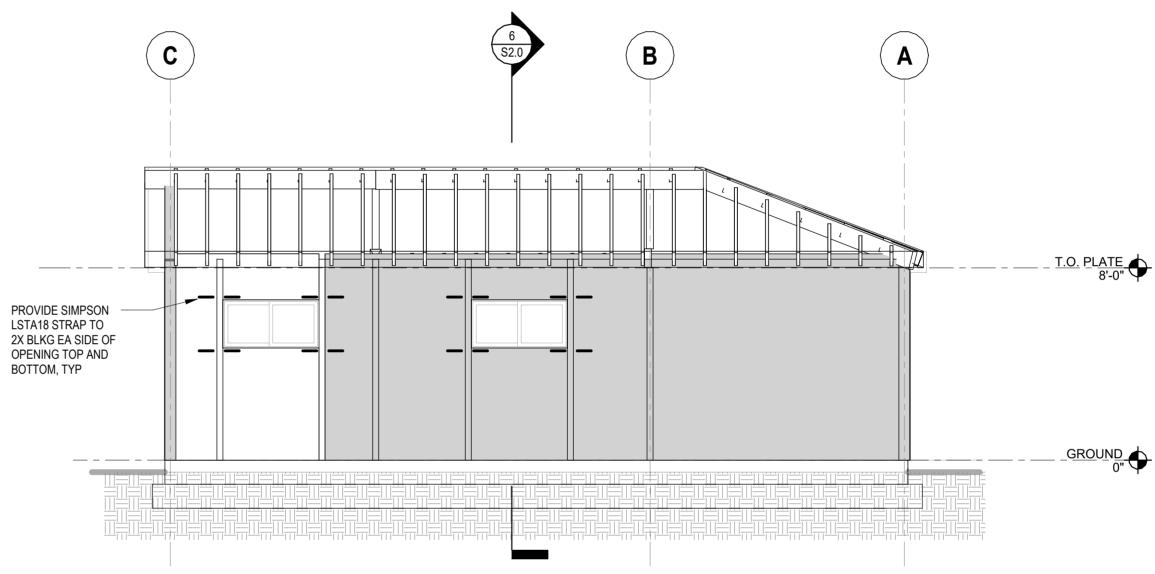


SECTION1/4" = 1'-0"



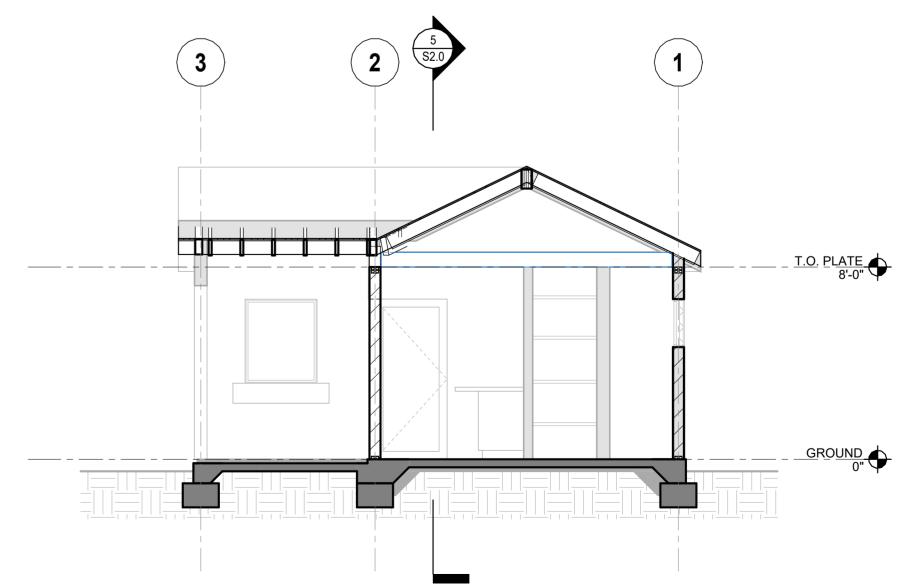
NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY, SEE PLANS FOR DETAIL REFERENCES.

1) ELEVATION 1/4" = 1'-0"



NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY, SEE PLANS FOR DETAIL REFERENCES.

ELEVATION1/4" = 1'-0"



NOTE: SECTION FOR ILLUSTRATIVE PURPOSES ONLY, SEE PLANS FOR DETAIL REFERENCES.

6 SECTION 1/4" = 1'-0"

CITY OF SOUTH GATE PERMIT READY

ADU PLAN SET

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True North Compliance Services, In-PLAN REVIEW APPROVAL THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND AMENDED BY THE IURISDICTION. PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE NY FEDERAL, STATE, NOR LOCAL REGULATION. Mohammed Afaneh DATE: 12/5/2024 THIS SET OF THE PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES CITY. OCCUPANCY OF STRUCTURE(S) IS NOT PERMITTED UNTIL FINAL APPROVAL IS GRANTED BY ALL APPLICABLE DEPARTMENTS.

> **MODEL 1 BUILDING** SECTIONS & ELEVATIONS